

STAFF REPORT TO PLANNING COMMISSION

May 10, 2017

Pleasant View City Pump House – Site Plan and Conditional Use Permit

Findings of Fact:

1. Property is zoned A-1 (Agricultural) at 825 W 2550 N.
2. Developer desires to construct a waterline and pump house for the Weber Basin connection.

Conformance to General Plan:

Proposed use conforms to the General Plan.

Standards for Review:

1. Chapter 11.13 governs conditional uses in the City of Harrisville. Requirements for site plan approval are outlined in Chapter 10.22.060, section 6.

What the City has:

1. Proposed site plan.
2. Conditional Use Permit Application

Questions to ask:

1. Site development concerns.

Requirements for approval:

1. Construction to comply with all required architecture, landscaping, and screening regulations.
2. Development conform to municipal code requirements.
3. Compliance with requirements of the City Engineer.
 - a. Ensure asphalt grades are set to drain to the on-site drainage swale.
 - b. Final and complete building plans will be submitted to the City Building Official prior to obtaining a building permit.

Staff Recommendations:

Grant site plan approval and conditional use subject to the above requirements.

Required Action:

Motion to Approve (Example: *I move to recommend Approval of the site plan/conditional use, list reasons for approval based on the requirements of the ordinance subject to staff and other agency comments, and other conditions as outlined by the planning commission.*)

Motion to Deny (Example: *I move to recommend Denial of the site plan/conditional use, list reasons for denial based on the requirements of the Ordinance.*)

Motion to Table (Example: *I move to Table the site plan/conditional use, list reasons for tabling, Date tabled to and requirements for reappearance.*)



CONSULTING ENGINEERS

MEMORANDUM

To: Harrisville City Planning Commission

From: Matthew Robertson, P.E. – City Engineer *Matthew I. Robertson*

CC: Bill Morris, City Administrator
Sean Lambert, Public Works Director
Laurence Boswell, Land Use Coordinator
Bill Cobabe, Pleasant View Administrator
Dana Shuler, Jones and Associates – Project Engineer

RE: PLEASANT VIEW CITY PUMP STATION – FINAL SITE PLAN REVIEW

Date: May 4, 2017

A Conditional Use Permit has been submitted by Pleasant View City to construct a culinary water pump station at approximately 825 W. 2550 North in Harrisville on property formerly owned by David Skeen. This pump station will be located adjacent to the Weber Basin Well and will pump water from Weber Basin and to the Pleasant View City system. All property acquisition, easements, and agreements with Weber Basin Water have been taken care of. Access to the site will be off of 2550 North which is owned by Pleasant View and all drains will connect to their storm drain system.

Our office has completed a review of the final site plan and improvement drawings for the development. We recommend granting final site plan approval at this time.

Notes and Final Processing Items:

1. During construction, ensure that asphalt grades are set to drain to the on-site drainage swale to eliminate ponding of water and discharging of water onto adjacent properties.
2. Final and complete building plans for the pump building will need to be submitted to the City Building Official prior to obtaining a building permit.

If you have any questions please feel free to contact me.



CONSULTING ENGINEERS

April 20, 2017

Mr. Laurence Boswell
Land Use Coordinator
Harrisville City
363 West Independence Blvd
Harrisville, Utah 84404

RE: Conditional Use Application for
Pump Station for the Weber Basin Connection for
Pleasant View City

Dear Mr. Boswell:

Following attendance at the June 9, 2016 Project Management meeting, Pleasant View City (PVC) has been working diligently to obtain property, easements, and agreements needed for the proposed Pump Station for the Weber Basin Connection. Described below is the status of each of the items required for the Conditional Use Permit application:

1. Conditional Use Permit application – Attached is a completed and executed (by Bill Cobabe) CUP application. The Land Serial Number will be added as soon as available (see next item).
2. Warrant Deed – Mr. and Mrs. Skeen executed the warranty deed for the 3,000 sf property on April 10, 2017. The deed is being processed by a title company and will be recorded with Weber County.
3. Record of Survey – A signed and sealed Record of Survey was delivered to Harrisville City on April 18th. The Survey is awaiting signature by the Mayor and then will be recorded with Weber County.
4. Easements – On April 10, 2017, Mr. and Mrs. Skeen executed three (3) easements related to the pump station property. These easements are being processed by a title company and will be recorded with Weber County. The easements are shown on the Record of Survey and are as follows:
 - a. PVC Utility and Access easement
 - b. WB Utility and Access easement
 - c. Joint PVC and WB Utility and Access easement
5. Pleasant View City / Weber Basin Memorandum of Understanding – This MOU has been drawn up, reviewed, and signed by Weber Basin. Approval and subsequent execution of the MOU is scheduled for the April 25th Pleasant View City Council meeting. Attached is the partially signed agreement. A fully executed version will be provided as soon as it is available.
6. Pump Station Architectural and Site Plan – Attached are the drawings for the pump station and related site plan. A copy of these plans has been delivered to the City Engineer for review and comment.



**JONES &
ASSOCIATES** CONSULTING ENGINEERS

Should you need any additional information, please don't hesitate to contact me at 801-476-9767 or dana@jonescivil.com.

Sincerely,

Dana Q. Shuler, P.E.

Attachments: Conditional Use Permit Application
PVC/WB MOU
Pump Station plans (select pages)

cc (no attachments): Pleasant View City

**HARRISVILLE CITY
CONDITIONAL USE PERMIT APPLICATION**

Petition Number: _____ Date: _____
Fee Amount: _____ Receipt Number _____

Land Serial Number: _____

Owner of Record: <u>Pleasant View City</u>	Petitioner: <u>Pleasant View City</u>
Owner's Address: <u>520 W. Elberta Dr.</u>	Petitioner's Phone Number <u>801-782-8529</u>
<u>Pleasant View, UT 84414</u>	Petitioner's Mailing Address: <u>520 W. Elberta Dr.</u>
Phone: <u>801-782-8529</u>	<u>Pleasant View, UT 84414</u>
Street address of property for which conditional use is requested <u>~825 W 2550 N, Harrisville, Utah</u>	Petitioner's e-mail <u>bcobabe@pleasantviewcity.com</u> - City contact <u>dana@jonescivil.com</u> - technical contact
_____	Present zoning of property: <u>C-2</u>
_____	Present Use of the property: <u>agricultural</u>

List any conditional uses previously granted for this property and the date they were approved:


- A. none (new parcel) _____
- B. _____
- C. _____

All previously granted conditional uses will be cancelled unless included with this petition.

PROPOSED CONDITIONAL USE OR USES FO THE PROPERTY:

- 1. utility substation (Pleasant View City Culinary Water Pump Station) _____
- 2. _____
- 3. _____

This petition must be signed by the property owner or record or the petitioner must furnish an affidavit from the owner giving authorization to appear before any city administrative or legislative body to act on behalf of the owner in matters pertaining to this petition.

Petitioner:  Date: 27 MAR 2017

11-18-030. Review procedure:

- 1. Application for a conditional Use Permit shall be made at the city offices for consideration by the planning commission.
- 2. Detailed location, site, and building plan shall accompany the complete application forms provided by the city. For structures in existence, only a location and site plan need be provided.
- 3. The application together with all pertinent information shall be considered by the planning commission at its next regularly scheduled meeting.
- 4. Third party notice. The planning commission may provide third party notice in the form and manner specified by law or by the commission.

MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding (“MOU”) is made and entered into by and between the Weber Basin Water Conservancy District, a water conservancy district organized pursuant to the laws of the State of Utah (“Weber Basin”), and Pleasant View City, a municipal corporation of the State of Utah (“Pleasant View”), (sometimes collectively referred to herein as the “Parties”).

RECITALS

A. Weber Basin has wholesale water supply contracts with most of the drinking water retail systems in Davis and Weber Counties, including a 275 acre-foot contract with Pleasant View.

B. Pleasant View’s Water Purchase contract with Weber Basin was executed in December of 2015, and now it becomes necessary to determine the details of how Pleasant View will gain access to Weber Basin’s water supply (“Connection”).

C. Weber Basin currently owns and operates a well (sometimes referred to as North Weber Well) (“Well”) located at approximately 825 W 2550 N, Harrisville, Utah (Weber County Parcel # 17-066-0088). Weber Basin currently holds a 25-ft wide access easement from 2550 North to said parcel.

D. Pleasant View intends to acquire property and construct a pump station (“Pump Station”) north of and directly adjacent to the Well parcel.

E. Pleasant View intends to connect to the discharge line of the Well located in aforementioned access easement.

F. The Parties agree that it is in the best interest of the public that are served by the Parties to cooperate together in this process.

NOW, THEREFORE, based on the material promises contained herein the Parties agree as follows:

1. Easements. Easements shall be as follows (see Exhibit A for sketch of proposed easements):

A. Existing Weber Basin Access Easement. Weber Basin shall abandon existing access easement upon execution of replacement easements (described below).

B. Weber Basin Access and Utility Easement. Weber Basin will obtain an access and utility easement. Said easement will be 25-ft in width, follow the existing Weber Basin Access Easement alignment, but terminate 50-ft north of Well parcel (to be north property line of Pump Station)("WB Access and Utility Easement").

C. Pleasant View Access and Utility Easement. Pleasant View will obtain an access and utility easement to be located east of and adjacent to WB Access and Utility Easement ("PVC Access and Utility Easement").

D. Joint Access and Utility Easement. Parties will obtain a joint access and utility easement. Said easement will be located between the terminus of WB Access and Utility Easement and PVC Access and Utility Easement, south 50-ft to north property line of Well parcel, and from the west line of the Existing Weber Basin Access Easement east to the east property line of the Skeen property (Weber County Parcel # 17-066-0096).

E. Preparation of Easements. Pleasant View will prepare and provide all easement legal descriptions described in paragraphs B through E above. Each Party is responsible for preparation, execution, and recordation of their easement documents.

2. Driveway. Parties shall share in the use, operation, and maintenance of driveway and appurtenances (such as gravel surface and culvert parallel to 2550 North).

3. Storm Drain. The Parties shall share in the use, operation, and maintenance of an existing storm drain line located within Existing Weber Basin Access Easement.

4. Meters and Piping. After purchase and installation of meters by Pleasant View, Weber Basin shall own, operate, and maintain all meters that monitor flow to and from the Pump Station. Pleasant View shall own, operate, and maintain all other piping and appurtenances from the point of connection that are necessary to deliver flow to and from the Pump Station.

5. Necessary Acts and Cooperation. The Parties agree to proceed in good faith to implement the terms and provisions of this MOU.

6. Authorization. Each Party signing this Agreement represents that the person signing has authority to sign for that Party.

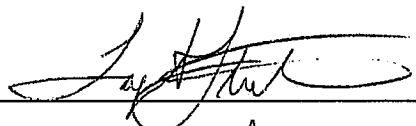
7. Execution of MOU. This MOU may be executed in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same MOU.

8. Effective Date of MOU. This MOU shall be effective upon execution by the Parties.

IN WITNESS WHEREOF, each party to this MOU has caused it to be executed on the date indicated below.

WEBER BASIN WATER CONSERVANCY
DISTRICT

PLEASANT VIEW CITY

By: 

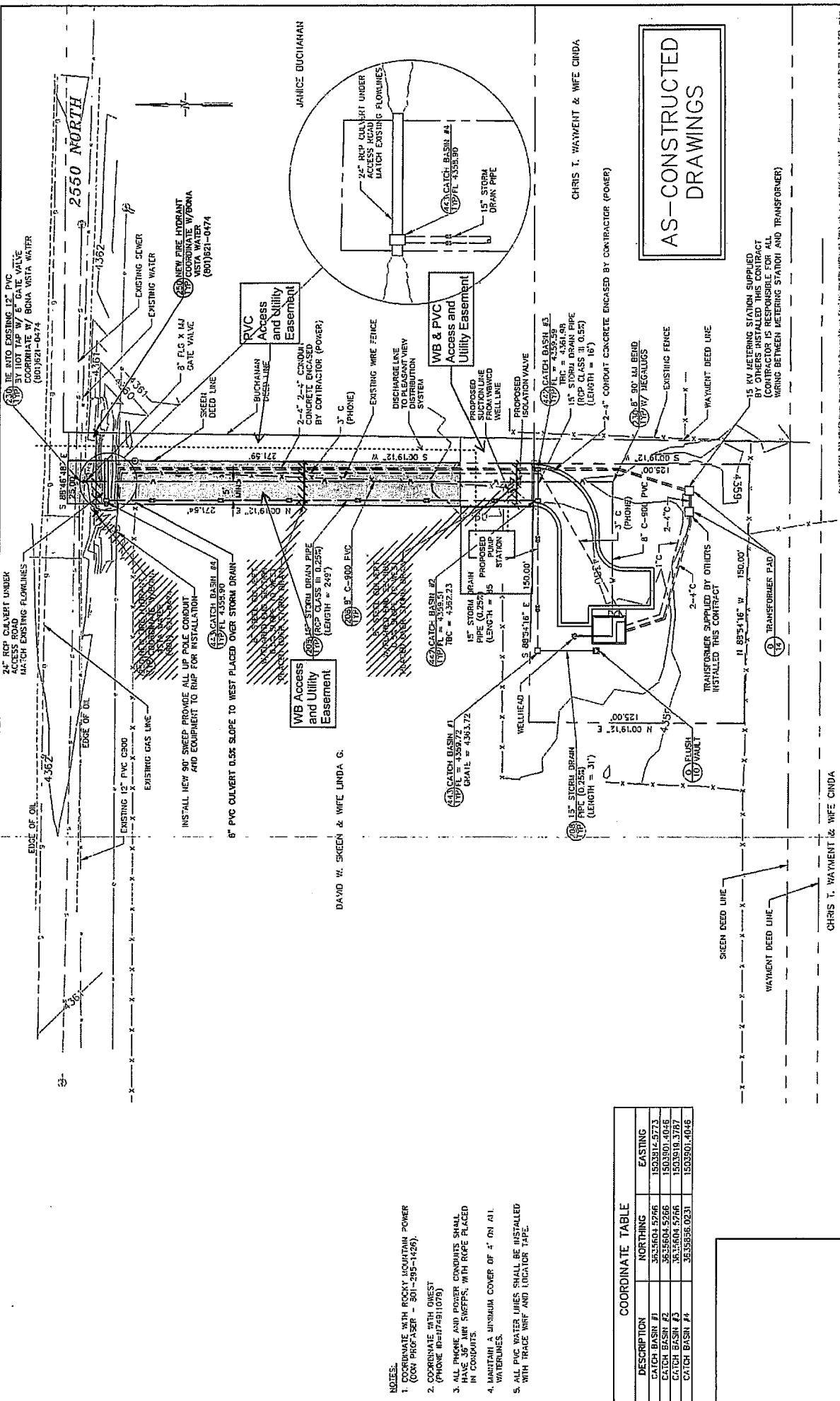
By: _____

Its: General Manager / CEO

Its: _____

Date: 3/31/18

Date: _____



AS-CONSTRUCTED
DRAWINGS

HORROCKS ENGINEERS	ONE WEST MAIN AMERICAN FORK, UT 84003 (801) 763-5100	WBWCD Weber Basin Water Conservancy District	NORTH WEBER WELL PROJECT WATER LINE AND TOPO UTILITY PLAN
PROJECT NO: 1503501.4046 SHEET NO: 3 OF 20		DATE: 1/07/1 DRAWN BY: HAS CHECKED BY: JES APPROVED BY: JES CONTRACT NO: 0011-023	

COORDINATE TABLE

DESCRIPTION	NORTHING	EASTING
CATCH BASIN #1	3535601.5266	1503512.5773
CATCH BASIN #2	3535604.5266	1503501.4046
CATCH BASIN #3	3535604.5266	1503518.3787
CATCH BASIN #4	3535605.0231	1503501.4046

- NOTES:**
1. COORDINATE WITH ROCKY MOUNTAIN POWER (CONTRACTOR - 301-295-1429).
 2. COORDINATE WITH OWEST (PHONE 801-763-1079).
 3. ALL PHONE AND POWER CONDUITS SHALL HAVE 36" WR SWEEPS, WITH ROPE PLACED IN CONDUITS.
 4. MAINTAIN A MINIMUM COVER OF 4' ON ALL WATERLINES.
 5. ALL PVC WATER LINES SHALL BE INSTALLED WITH TRACE WIRE AND LOCATION TAPE.

DAVID W. SKEEN & WIFE LINDA G.
CHRIS T. WAYMONT & WIFE CINDA

CONTRACTOR: CHRIS T. WAYMONT & WIFE CINDA
 15 KV METERING STATION SUPPLIED BY OTHERS. INSTALLED THIS CONTRACTOR IS RESPONSIBLE FOR ALL WIRING BETWEEN METERING STATION AND TRANSFORMER.

TRANSFORMER PAD
 15 KV METERING STATION
 15 KV METERING STATION SUPPLIED BY OTHERS. INSTALLED THIS CONTRACTOR IS RESPONSIBLE FOR ALL WIRING BETWEEN METERING STATION AND TRANSFORMER.

Pleasant View City Corporation

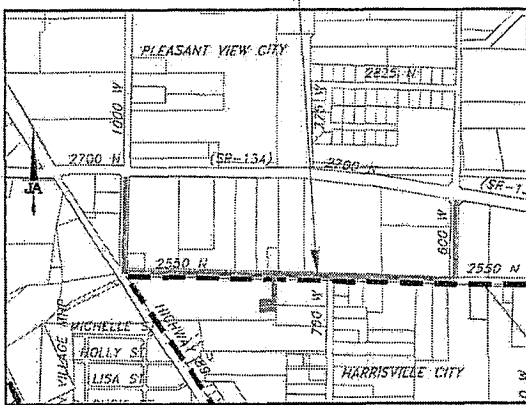
WATERLINE & PUMP HOUSE FOR THE WEBER BASIN CONNECTION

PARTIAL SET FOR
HARRISVILLE CUP
APPLICATION

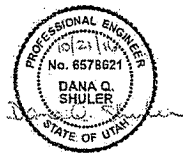
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PROJECT LOCATION



Location Map



OCTOBER 2016

PROJECT NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PLEASANT VIEW CITY CONSTRUCTION STANDARDS EXCEPT WHERE SPECIFIED OTHERWISE. COPIES OF THE STANDARDS THAT ARE APPLICABLE TO THIS PROJECT ARE CONTAINED IN THIS SET OF DRAWINGS.
2. THE CONTRACTOR SHALL REFER TO THE PLEASANT VIEW CITY CONSTRUCTION STANDARDS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE DRAWINGS.
3. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS, VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
4. EXISTING UTILITY LOCATIONS SHOWN MAY NOT BE EXACT AND ALL UTILITIES MAY NOT BE SHOWN. CONTACT BLUE STAKES, (811) AT LEAST 48 HOURS PRIOR TO EXCAVATION.
5. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE & COOPERATE WITH ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY MANNER AND WITH MINIMUM DISRUPTION OF SERVICE.
6. THE CONTRACTOR SHALL PATCH UTILITIES THAT MAY HAVE A POTENTIAL CONFLICT SUFFICIENTLY IN ADVANCE OF LAYING PIPE AND STRUCTURES TO ALLOW FOR ADJUSTMENTS IN THE PROPOSED DESIGN TO AVOID CONFLICTS.
7. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF ANY REGULATORY AGENCY EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK WHERE APPLICABLE.
8. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES, TYPICAL DETAILS AND SPECIFICATIONS.
9. THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR THE TEMPORARY ERECTION OF BRACING AND SHORING AS REQUIRED FOR STABILITY OF STRUCTURES AND EXCAVATIONS DURING ALL PHASES OF CONSTRUCTION AS DESCRIBED BY OSHA.
10. PROJECT HORIZONTAL AND VERTICAL DATUM ARE BASED ON SURVEY PROVIDED BY HANSEN & ASSOCIATES AND SHALL BE USED FOR PROJECT CONTROL. THE PROJECT COORDINATE SYSTEM IS WAD 83 STATE PLANE, UTM NORTH NAD83. INITIAL CONSTRUCTION STAKING WILL BE PROVIDED BY THE OWNER. ANY ADDITIONAL CONSTRUCTION STAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONSTRUCTION STAKING SCHEDULING VIA THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED.
12. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ALL FLAGGING, BARRICADES AND TRAFFIC CONTROL AS MAY BE NECESSARY TO ENSURE SAFETY TO THE GENERAL PUBLIC AND CONSTRUCTION PERSONNEL DURING CONSTRUCTION. A TRAFFIC CONTROL PLAN SHALL BE DEVELOPED BY THE CONTRACTOR AND SUBMITTED TO THE CITY FOR APPROVAL. ONLY APPROVED TRAFFIC CONTROL PLANS MAY BE USED ON THE PROJECT.
13. THE CONTRACTOR SHALL HOLD A VALID UTAH CONTRACTOR'S LICENSE PRIOR TO AND DURING CONSTRUCTION, UNTIL WORK IS COMPLETE.
14. THE CONTRACTOR SHALL MAINTAIN CLEAN CONSTRUCTION AREAS. ALL DEBRIS, RUBBISH AND TRASH MUST BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ANY EQUIPMENT NECESSARY TO DEWATER EXCAVATIONS.
16. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DRY DENSITY. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND PLACED IN NON-STRUCTURAL AREAS. IMPORT GRANULAR BACKFILL MATERIAL SHALL BE REQUIRED IN TRENCH AND ROADWAY AREAS IF PROPER COMPACTION CANNOT BE ACHIEVED WITH NATIVE MATERIAL. ENGINEER OR CITY INSPECTOR MAY REQUIRE IMPORTED GRANULAR BACKFILL AT THEIR DISCRETION.
17. THE CONTRACTOR IS RESPONSIBLE TO ADHERE TO URBAN STORM WATER QUALITY REGULATIONS AND TO DEVELOP AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A SWPPP TEMPLATE CAN BE FOUND AT www.dwg.uh.edu/~pwh/urp/pwh/urp/urp/swppp/urp/swppp.htm. CONTRACTOR SHALL FILE NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT).
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO PUT IN PLACE AND MAINTAIN ALL BEST MANAGEMENT PRACTICES (BMP'S) AS DEEMED NECESSARY TO KEEP A CLEAN WORK SITE AND PREVENT ANY STORM WATER POLLUTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO IMMEDIATELY RESOLVE ANY ISSUE/CONCERN MADE KNOWN BY THE ENGINEER OR CITY INSPECTOR.
19. THE CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP ALL PUBLIC STREETS ADJACENT TO THE PROJECT AS NECESSARY AND AS OFTEN AS IS NEEDED IN ORDER TO KEEP THE PAVEMENT FREE FROM MUD AND DIRT AND KEEP TRACKING OF MATERIAL TO A MINIMUM.
20. THE CONTRACTOR SHALL MEET ALL UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY AND U.S. EPA REQUIREMENTS WITH RESPECT TO THEIR MINIMUM RULES AND REGULATIONS.
21. ALL QUALITY ASSURANCE AND QUALITY CONTROL (QA/QC) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
22. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS AT THE JOB SITE FOR THE PURPOSE OF RECORDING ALL ACTUAL MEASUREMENTS AND DETAILS TO BE USED IN THE PREPARATION OF RECORD DRAWINGS. FINAL PAYMENT WILL NOT BE RELEASED UNTIL "AS-BUILTS" HAVE BEEN SUBMITTED TO AND ACCEPTED BY THE OWNER AND/OR PROJECT ENGINEER.
23. THE CONTRACTOR SHALL HAVE ON SITE AT ALL TIMES AT LEAST ONE COPY OF THE SIGNED APPROVED PLANS & SPECIFICATIONS, AS WELL AS ALL PERMITS AS REQUIRED TO PERFORM THE WORK.
24. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS TO ALL DRIVEWAYS DURING CONSTRUCTION INCLUDING ANY MATERIAL NECESSARY TO MAINTAIN ACCESS. CONTRACTOR IS RESPONSIBLE TO COORDINATE CONSTRUCTION SCHEDULE AND ANY RELATED IMPACTS WITH RESIDENTS / PROPERTY OWNERS.
25. THE CONTRACTOR SHALL PROTECT AND NOT DISTURB ALL PUBLIC IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS. ANY DAMAGE TO PUBLIC IMPROVEMENTS BY THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT CONTRACTOR'S EXPENSE.
26. ALL MATERIALS TO BE REMOVED SHALL BE HAILED AWAY & DISPOSED OF IN A SAFE AND LEGAL MANNER BY THE CONTRACTOR.
27. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ROCKY MOUNTAIN POWER WHEN BRACING OF POLES IS REQUIRED.
28. NEW CULINARY WATER LINE MUST HAVE A MINIMUM COVER OF 4 FEET UNLESS OTHERWISE SPECIFIED ON THE PLANS.
29. TOPSOIL SHALL BE REPLACED AND GRADED PRIOR TO REVEGETATION. DISTURBED AREAS SHALL BE SOEDED OR RESEEDED USING A SEED MIX MIXTURE AS APPROVED BY THE PROJECT ENGINEER AND PROPERTY/O.W. OWNER.
30. PIPELINE TESTING FOR WATER LINES SHALL CONFORM TO THE SPECIFICATIONS AS INDICATED IN THE SPECIFICATION SECTION OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESSURE TESTING OF WATER LINES, DISINFECTION OF THE WATER LINE AND HIGH-CHLORINE REMOVAL. THE OWNER SHALL PERFORM BACTERIA AND HIGH-CHLORINE TESTING.
31. CONTRACTOR IS RESPONSIBLE TO KEEP ALL CONSTRUCTION WORK WITHIN THE PUBLIC RIGHTS-OF-WAY AND / OR WITHIN ALL TEMPORARY CONSTRUCTION EASEMENTS AS SHOWN ON THE DRAWINGS. IF DAMAGE OCCURS TO PERSONAL PROPERTY OUTSIDE DESIGNATED EASEMENTS, THE CONTRACTOR SHALL RESTORE TO EQUAL OR BETTER CONDITION AT CONTRACTOR'S EXPENSE AND MAY BE SUBJECT TO TRESPASSING LAWS.
32. PAVEMENT REPAIR SHALL BE AS FOLLOWS:
 1. PLACEMENT OF TEMPORARY COLD WEATHER PATCH.
 2. REMOVAL OF TEMPORARY COLD WEATHER PATCH.
 3. PLACEMENT OF PERMANENT PATCH.
 4. NO CRACK SEAL OR SEAL COAT IS REQUIRED. (SEE 33 05 25 & 33 05 23K)

LEGEND

	EXISTING	PROPOSED
PROPERTY OR R/W LINE	---	---
BARS WIRE OR OTHER WIRE FENCE	---X---	---
CHAIN LINK FENCE	---X---	---
CONTOUR LINE	---4250---	---4250---
EXISTING GROUND PROFILE	---V---	---
CULINARY WATER	---V---	---
BONA VISTA WATER	---BV VL---	---
WEBER BASIN WATER	---WB---	---
SANITARY SEWER - PLAN	---SS---	---
SANITARY SEWER - PROFILE	---	---
STORM DRAIN LINE - PLAN	---SD---	---
STORM DRAIN LINE - PROFILE	---	---
GAS LINE	---	---
TELEPHONE / CABLE TV	---	---
FIBER OPTIC	---	---
OVERHEAD POWER	---	---
POLE & ANCHOR	---	---
IRRIGATION (PRESSURE)	---	---
OPEN DITCH	---	---

Know what's below. 
Call 811 before you dig.
 BLUE STAKES OF UTAH
 UTILITY LOCATION CENTER, P.C.
www.bluestakes.com
 1-800-652-4111

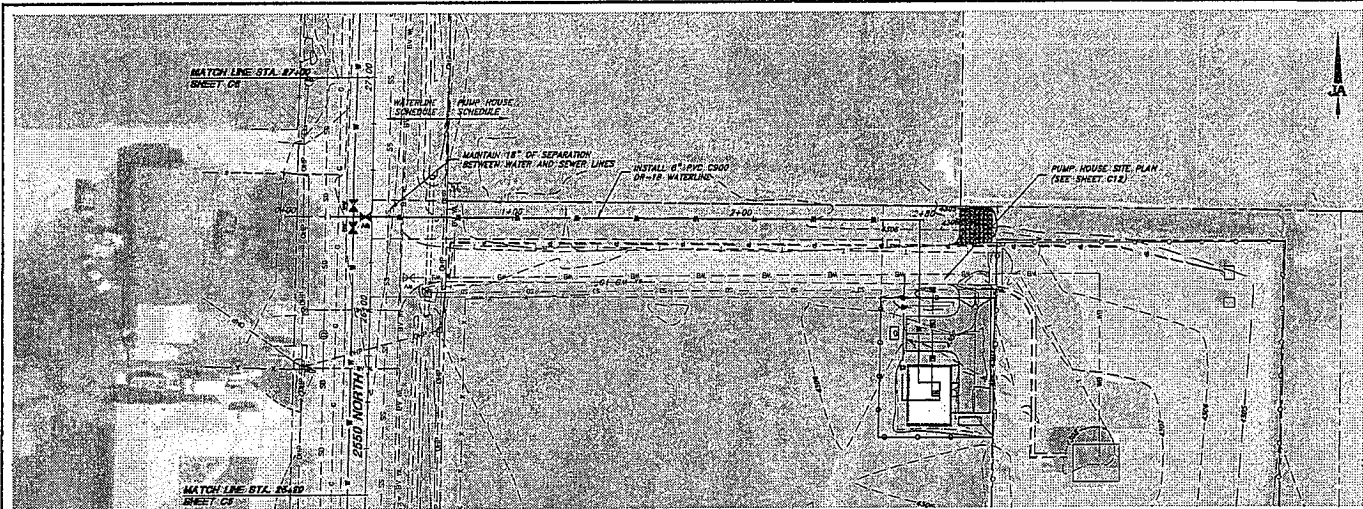
CONSULTING ENGINEERS
TUNES & ASSOCIATES
 1000 W. 1200 S. SUITE 200
 SALT LAKE CITY, UT 84119
 (801) 487-8787

PLEASANT VIEW CITY CORPORATION
 WATERBARE & TRAP REPAIR FOR THE WEBER BASIN CONNECTION

PROJECT NOTES & LEGEND

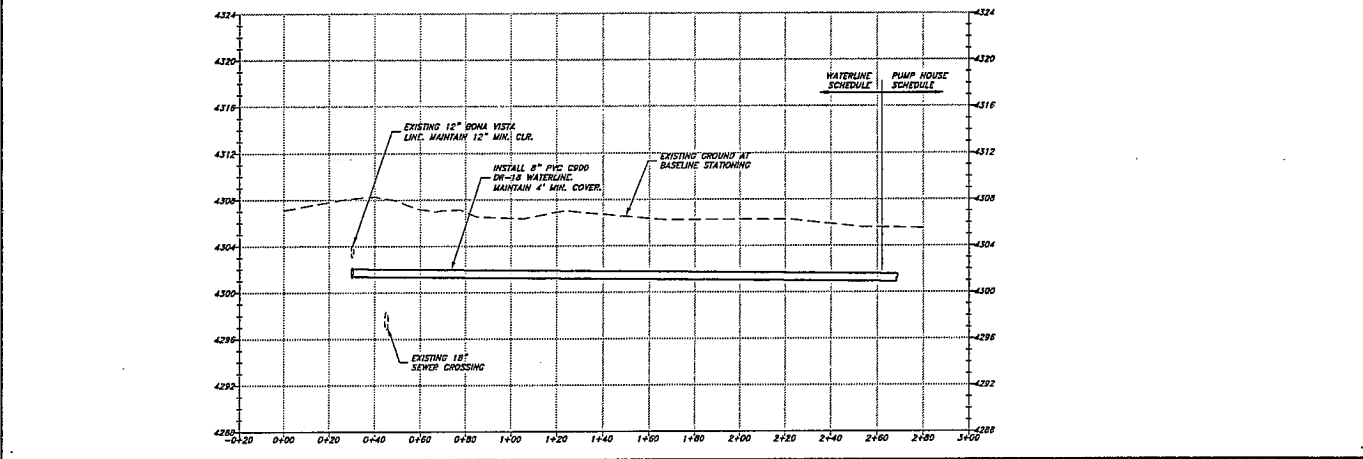
DATE	BY	CHK	APP

SCALE: 1"=20'-0"
 DATE: 11/27/17
 SHEET: **C1**
 OF 1-0278



CONSULTING ENGINEERS
JONES & ASSOCIATES
 1714 East 3000 South
 Salt Lake City, Utah 84119
 PH: (801) 474-8787 FAX: (801) 474-8788
 WWW: JONES-ASSOCIATES.COM

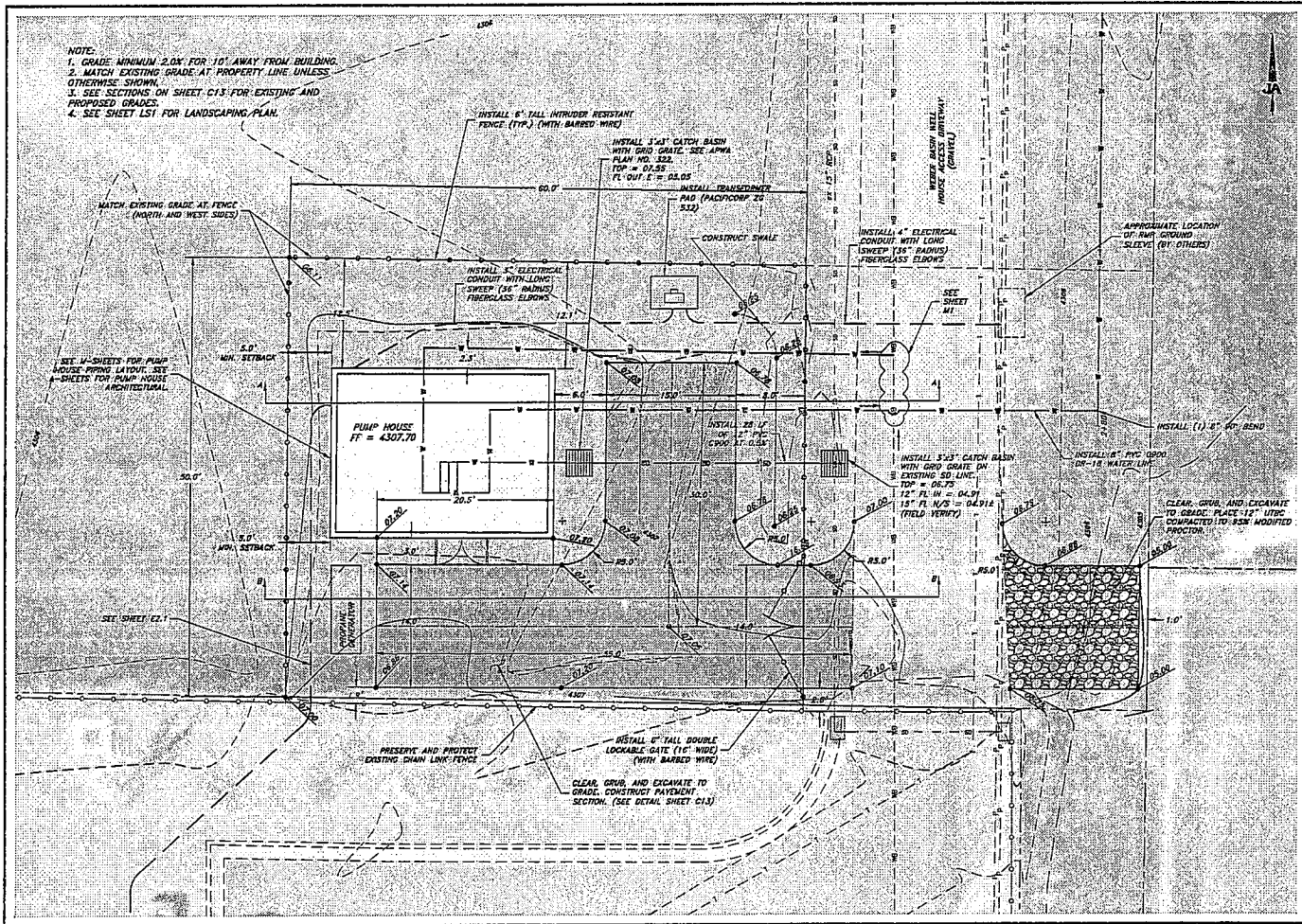
RESIDENT NEW CITY CORPORATION
 WATERLINE & PUMP HOUSE FOR THE WESTBAY CONNECTION
PLAN AND PROFILE
STA. 0+000 TO 2+80



DATE	DESCRIPTION	BY	CHKD

SCALE
 PLAN 1" = 40'
 PROFILE 1" = 4'
 SHEET **C11**
 OF 1 SHEET

NOTE:
 1. GRADE MINIMUM 2.0% FOR 10' AWAY FROM BUILDING.
 2. MATCH EXISTING GRADE AT PROPERTY LINE UNLESS OTHERWISE SHOWN.
 3. SEE SECTIONS ON SHEET C13 FOR EXISTING AND PROPOSED GRADES.
 4. SEE SHEET LST FOR LANDSCAPING PLAN.



PRELIMINARY NEW CITY CORPORATION
 WATERLINE & PUMP HOUSE FOR THE WEBSTER BASIN CONNECTION

JONES & ASSOCIATES
 CONSULTING ENGINEERS

1716 East 3400 South
 Suite 200, Provo, Utah 84606
 Phone: (801) 771-9100
 Fax: (801) 771-9101

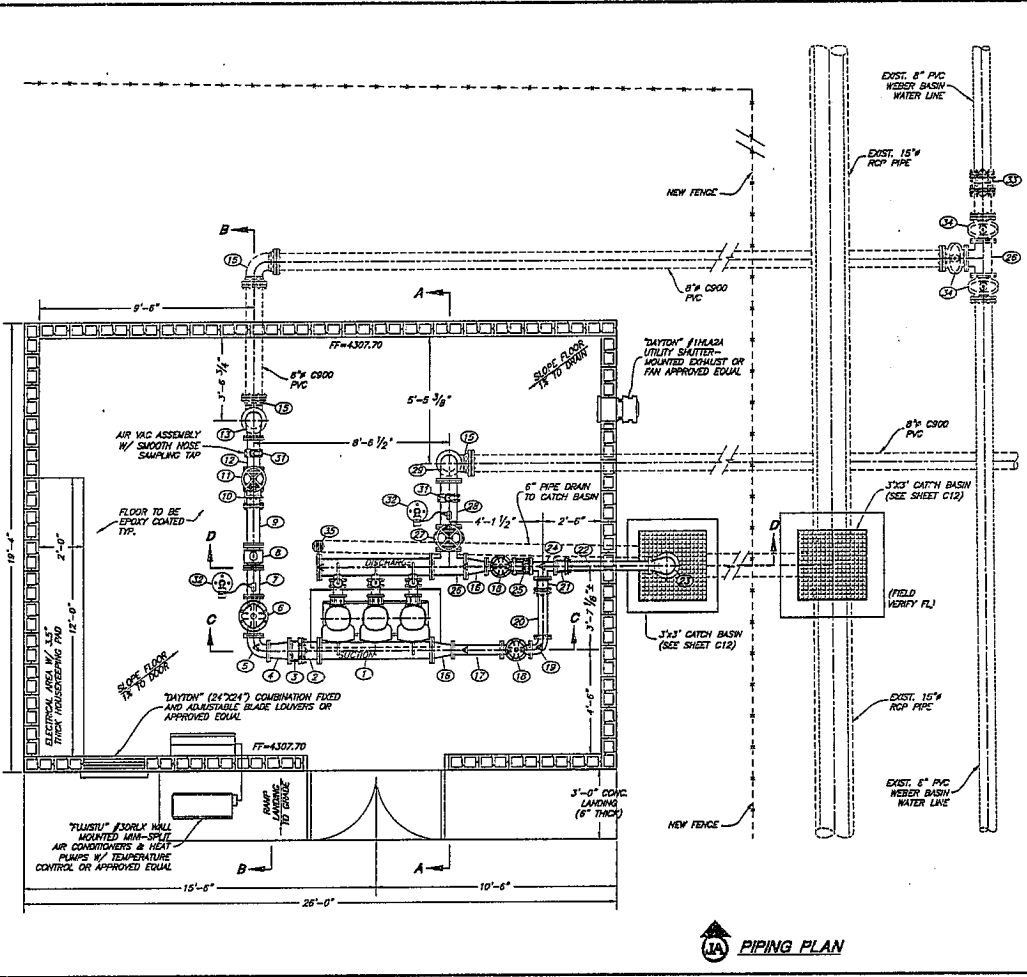
PUMP HOUSE SITE PLAN

DATE	BY	CHK	APP
2/12/08	JLJ	AW	AW
2/12/08	JLJ	AW	AW
2/12/08	JLJ	AW	AW

REV: **C12**
 1/1/08

NO.	DESCRIPTION	FITTING	SIZE
1	TRUMAC® Boostercap	FL	---
2	MOORELUPCO® SCREEN-2-1 20mp	FL	---
3	11"-2" NIPPLE PIECE	FL/PE	8"
4	TRUMAC RPDA-RESTRAINED FLANGE COUPLING ADAPTER	FL	8"
5	REDUCER	FL/FL	8" x 6"
6	180° BEND	FL	6"
7	1"-3" SPOOL PIECE	FL/FL	6"
8	PROSEMOUNT FLOW METER MODEL 4525000W/112500001140110111114 (INCLUDES: 2 EACH STAINLESS STEEL GROUND RINGS, DRINKING WATER APPROVAL, TEFLOON LINES, AND 100' OF SUBVERSIBLE PATED ENCAPSULATED CABLE)	FL	6"
9	11"-8 1/2" SPOOL PIECE	FL/FL	6"
10	TRUMAC® D/AD0 DISMANTLING JOINT	FL	6"
11	MUELLER® A-2351 GATE VALVE W/ HANDWHEEL	FL	6"
12	11"-4" SPOOL PIECE	FL/FL	6"
13	180° REDUCING BEND	FL	6" x 4"
14	16"-0" NIPPLE PIECE	FL/PE	8"
15	180° BEND W/ THRUST RESTRAINT JOINTS (MEDALLS)	ML	8"
16	REDUCER	FL	8" x 4"
17	3"-3" SPOOL PIECE	FL/FL	4"
18	TRUMAC VALVE MODEL 52-A3 GLOBE STYLE PRESSURE REDUCER & SURGE ANTI-SIPHON VALVE, CLASS 150 W/ STAINLESS STEEL TRIM AND FITTINGS	FL	4"
19	180° BEND	FL	4"
20	12"-5" NIPPLE PIECE	FL/PE	4"
21	TRUMAC RPDA-RESTRAINED FLANGE COUPLING ADAPTER	FL/PE	4"
22	14"-0" NIPPLE PIECE	FL/PE	4"
23	180° REDUCING BEND	FL	4" x 2"
24	TEE	FL	4" x 4" x 4"
25	TRUMAC® D/AD0 DISMANTLING JOINT	FL	4"
26	TEE	FL	8" x 8" x 4"
27	MUELLER® A-2351 GATE VALVE W/ HANDWHEEL	FL	8"
28	12"-0" SPOOL PIECE	FL/FL	8"
29	180° BEND	FL	8"
30	7"-0" NIPPLE PIECE	FL/PE	8"
31	A.R.L. D-040 AIR VAC ASSEMBLY W/ NO. 14 S.S. SCREEN (SEE SHEET M2)	THR.	2"
32	PROSEMOUNT PRESSURE TRANSDUCER (SEE SHEET M2)	THR.	1"
33	RESTRAINED COUPLING ADAPTER CONNECTION TO EXISTING PIPE	---	8"
34	MUELLER® A-2351 GATE VALVE W/ MEDALLS AND CAST IRON SLIP TYPE VALVE BOX & LOCKING LID	FL/ML	8"
35	FLOOR DRAIN	---	6"
Δ	PIPE SUPPORTS (9 LOCATIONS)	---	---

- NOTES:**
- ALL ABOVE GRADE PIPE SHALL BE DUCTILE IRON CLASS S1 UNLESS OTHERWISE NOTED. ALL FLANGES TO BE ANSI CLASS 150/125
 - WATERLINE SHALL HAVE 5' MINIMUM COVER.
 - ALL PIPING, VALVES, FITTINGS, METERS, & OTHER MISC. PARTS OF THE PIPING SYSTEM SHALL BE PAINTED W/1 COAT OF PRIMER & 2 COATS OF ACRYLIC ENAMEL "SULWAY WATER BLUE" PAINT
 - ALL SCADA WORK WILL BE COMPLETED BY THE OWNER WITH A SEPARATE CONTRACTOR. ALL ELECTRICAL WORK TO BE COMPLETED BY CONTRACTOR'S ELECTRICAL SUBCONTRACTOR.



PUMP HOUSE PIPING LAYOUT

PLEASANT NEW CITY CORPORATION
ROBERT BASHAM CONNECTION PROJECT

ENGINEERS

SCALE: 1" = 4'
1" = 2'
1" = 1'

SHEET
M1
OF 10

PLUMBING & PIPING FOR THE WESTERN SIGHT CONNECTION
GENERAL INFORMATION

MATERIALS LEGEND:

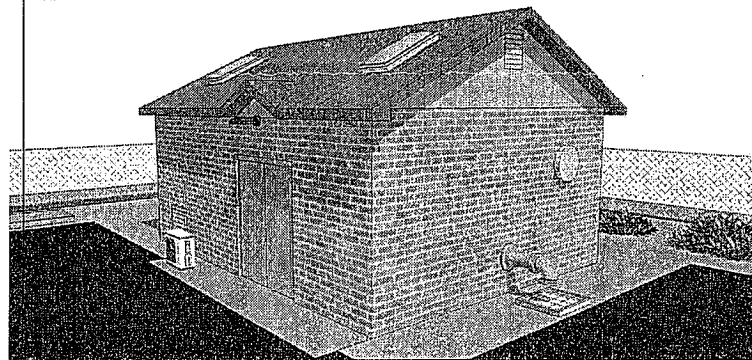
GYPSON BOARD	
CMU WALL	
CONCRETE	
STEEL	
RIGID INSULATION	
BATT INSULATION	
SOIL	
GRAVEL	
PLYWOOD	
WOOD BLOCKING	
HARD WOOD	
ROOF INSULATION	
FACE BRICK	
ACOUSTICAL CEILING	
EXISTING WALL	
STUD WALL	
PROTECTION BOARD	
FABRIC	

DRAWING SYMBOLS:

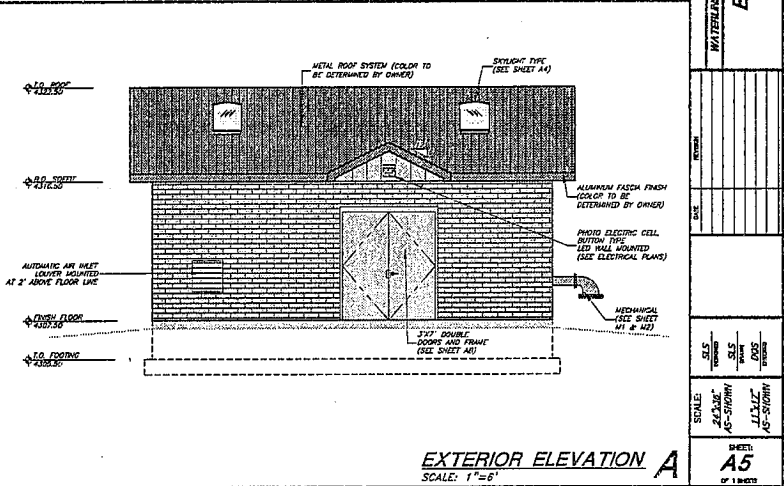
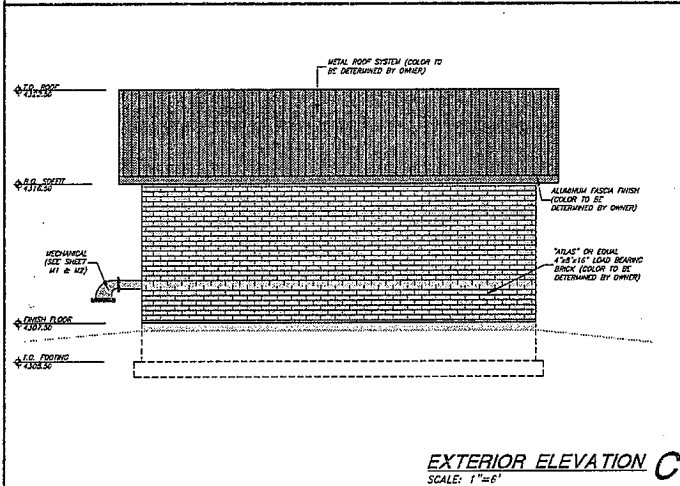
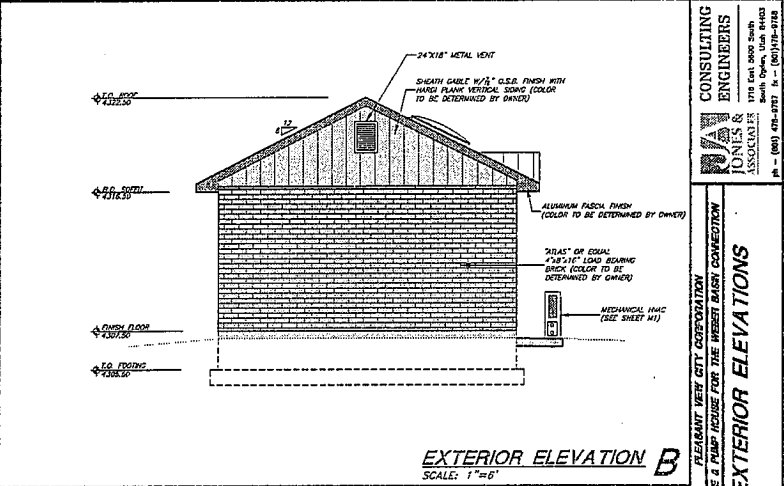
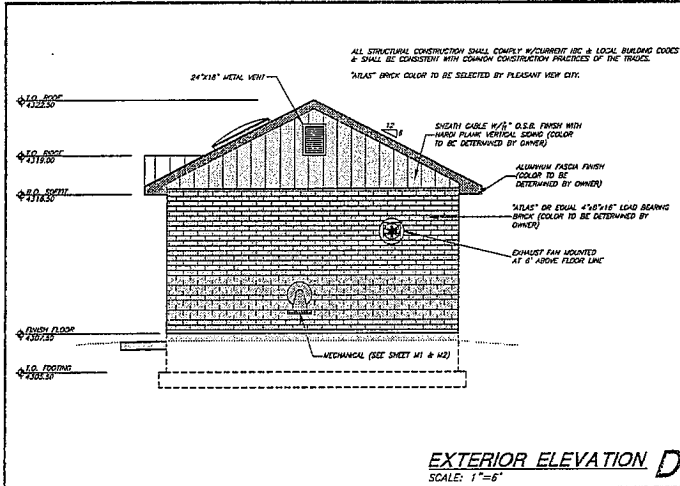
BUILDING SECTION MARK	
WALL SECTION MARK	
ELEVATION MARK	
DETAIL REFERENCE MARK	
PLAN REFERENCE MARK	
DOOR MARK	
WINDOW MARK	
ROOM TITLE	
MATCH LINE	
PLAN NOTE	
DEMOLITION NOTE	
ELEVATION DATUM	
WALL PARTITION TYPE	
REVISION MARK & CLOUD	
NORTH ARROW	
CEILING TAG	

ABBREVIATIONS:

A.C.	ARCHITECTURAL CONCRETE	H.M.	HOLLOW METAL	T.B.	TRACK BOARD
A.F.F.	ABOVE FINISH FLOOR	I.D.	INSIDE DIAMETER	T.O.	TOP OF
A.L.T.	ALTERNATE	J.T.	JOINT	TYP.	TYPICAL
B.L.K.	BLOCKING	L.A.V.	LAUNDRY	U.S.W.	UNDERWRITERS LABORATORIES
B.M.	BENCH	M.B.	MARKER BOARD	U.N.G.	UNLESS NOTED OTHERWISE
B.O.	BOARD	M.F.G.	MANUFACTURED	W.C.	WATER CLOSET
B.O.	BOARD	M.F.R.	MANUFACTURED	W.P.	WORKING POINT
B.O.	BOARD	M.T.D.	MOUNTED	W/	WITH
C.C.	CENTER OF CENTER	M.T.L.	METAL		
C.M.U.	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT		
CONC.	CONCRETE	N.T.S.	NOT TO SCALE		
		O.C.	ON CENTER		
D.F.	DOWNING FOUNTAIN	O.D.	OUTSIDE DIAMETER		
D.M.	DIMENSION	O.P.D.	OVERFLOW DRAIN		
D.S.	DOWNSPOUT	O.R.C.	OPENING		
ELEV.	ELEVATION	O.P.P.	OPPOSITE		
E.Q.	EQUAL	PLAS. LAM.	PLASTIC LAMINATE		
EXIST.	EXISTING	PLYWD.	PLYWOOD		
F.D.	FLOOR DRAIN	P.T.	PAPER TOWEL		
F.E.	FIRE EXTINGUISHER	Q.T.	QUARRY TILE		
F.E.C.	FIRE EXTINGUISHER CABINET				
FIN.	FINISH	REV.	REVERSE		
		R.D.	ROOF DRAIN		
FLOOR.	FLUORESCENT FLOOR	R.I.	ROUGH IN		
F.P.	FOUNDATION	R.I.C.	ROUGH IN AND CONNECT		
F.M.W.	FACE OF WALL	S.H.T.	SHEET		
F.S.	FLOOR SINK	S.M.	SIMILAR		
F.V.	FIELD VERIFY	SPEC.	SPECIFICATIONS		
GA.	GAUGE	STE.	STEEL		
GALV.	GALVANIZED	STRUKT.	STRUCTURAL		
GR.	GRANITE	SUSP.	SUSPENDED		
GYP. BD.	GYPSON BOARD				
H.C.F.	HANDICAP ACCESSIBLE FOUNTAIN				
H.T.	HEIGHT				

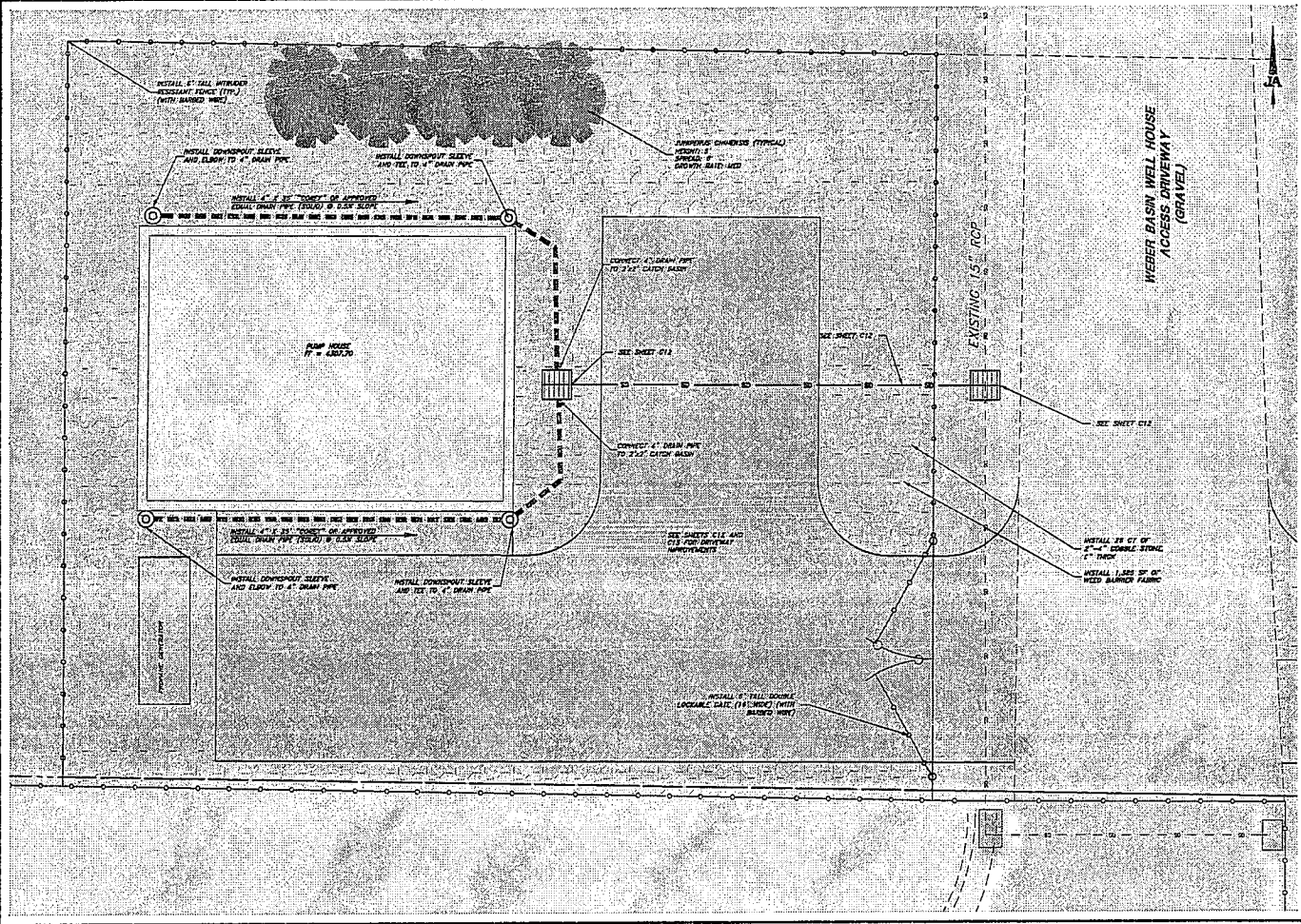


SCALE	AS SHOWN
SHEET	A1
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	



NO.	REVISION

DATE	BY	CHKD
SCALE	SHEET NO.	
AS-SUBMIT	A5	
AS-REVISED	OF 1 SHEETS	



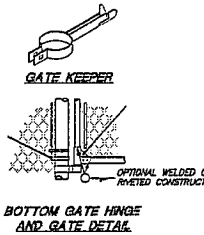
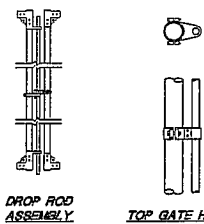
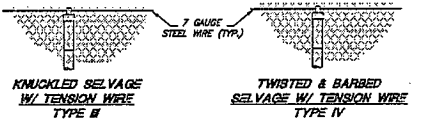
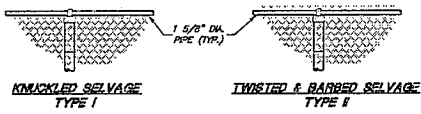
LANDSCAPE AND DOWNSPOUT DRAINAGE PLAN

PLEASANT NEW CITY CORPORATION
WATERLINE & PUMP HOUSE FOR THE WEBER BASIN CONNECTION

LS1
OF 1 SHEET

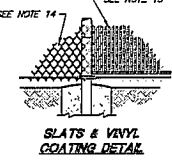
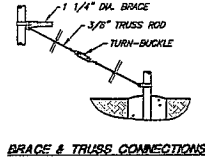
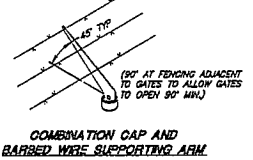
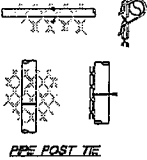
SCALE	S.S. TYPING	DATE	BY
1/4" = 1'	S.S.	11/11/17	JK
1/2" = 1'	JOS		
3/4" = 1'	DRG		

CONSULTING ENGINEERS
JONES & ASSOCIATES
 1718 East 9000 South
 South Ogden, Utah 84403
 PH - (801) 426-2121 FAX - (801) 426-2122



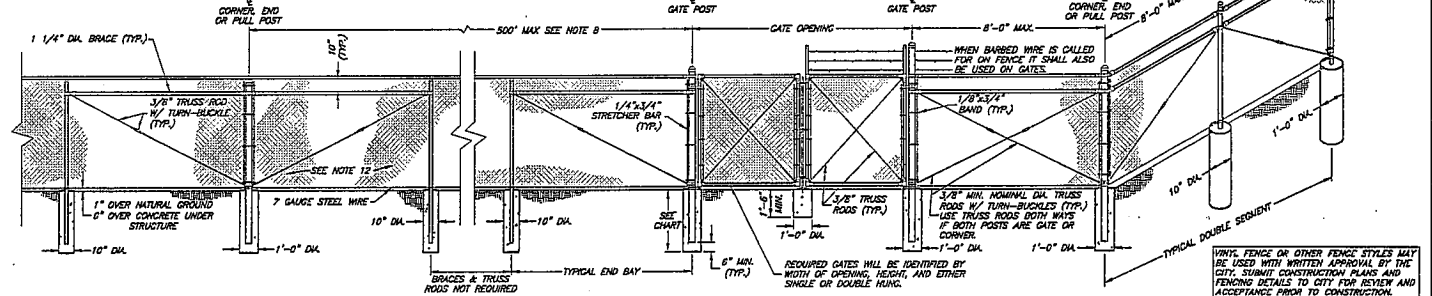
GENERAL NOTES:

1. MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PROJECT STANDARD SPECIFICATIONS.
2. THE TYPE OF TOP SUPPORT IS SPECIFIED IN THE BIDDING SCHEDULE, TYPES I AND II TUBULAR RAIL, TYPES III AND IV TENSION WIRE.
3. BARB WIRE SHALL BE USED ONLY WHEN DESIGNATED ON THE PLANS OR IN THE SPECIFICATIONS.
4. TWISTED AND BARBED SELVAGE TOP AND BOTTOM SHALL BE USED ON FENCES 5- FEET HIGH OR GREATER.
5. KNUCKLED SELVAGE ON TOP AND TWISTED AND BARBED ON BOTTOM SHALL BE USED ON FENCES LESS THAN 5- FEET.
6. ALL STEEL PIPE MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION A 120 SCHEDULE 40 HOT DIPPED ZINC COATED HIGH TENSILE STEEL PIPE OR TRIPLE COATED PIPE MADE FROM STEEL CONFORMING TO ASTM 588.
7. POSTS SHALL BE STEEL SCHEDULE 40 PIPE OR TRIPLE COATED HIGH TENSILE STEEL PIPE OF THE SIZE SHOWN IN THE CHART, WEIGHT IN POUNDS PER FOOT WITH A TOLERANCE OF 5%.
8. LINE POSTS SHALL BE LOCATED AT EQUAL SPACING FOR EACH SEGMENT WITH A MAXIMUM SPACING AS FOLLOWS:
 - a. TANGENT SECTIONS TO 500- FOOT RADIUS NOT MORE THAN 8- FEET.
 - b. UNDER 500- FOOT RADIUS TO 300- FOOT RADIUS NOT MORE THAN 8- FEET.
 - c. UNDER 300- FOOT RADIUS TO 100- FOOT RADIUS NOT MORE THAN 6- FEET.
 - d. UNDER 100- FOOT RADIUS NOT MORE THAN 5- FEET.
9. TRUSS RODS AND BRACES SHALL NOT BE REQUIRED FOR FABRIC HEIGHT LESS THAN 5- FEET.
10. TENSION WIRE SHALL BE 7 GAUGE ZINC- OR ALUMINUM- COATED COIL SPRING STEEL TENSION WIRE.
11. ALL POSTS SHALL BE SET IN 3000 PSI CONCRETE AND SHALL BE TOPPED WITH BALL TYPE OR OTHER APPROVED ORNAMENT.
12. ALL FABRIC SHALL BE 2" GALVANIZED 9 GAUGE MESH.
13. VERTICAL SEMI- PRIVACY VINYL SLATS WITH BOTTLING- LOCKING SLAT, WHEN REQUIRED BY THE CITY, COLOR AS APPROVED BY THE CITY.
14. VINYL COATED CHAINLINK FENCING WHEN REQUIRED BY THE CITY, COLOR AS APPROVED BY THE CITY.
15. ALL FENCING SHALL CONFORM TO LOCATION AND HEIGHT LIMITATIONS AS STATED IN PLEASANT VIEW CITY ORDINANCE.



HEIGHT	GATE OPENING	GATE POST	GATE FRAME
UNDER 5 FEET	SINGLE TO 6' OR DOUBLE TO 12'	2"	1"
	SINGLE OVER 6' TO 8' OR DOUBLE OVER 12' TO 16'	2 1/2"	1 1/2"
6 FEET AND OVER	SINGLE TO 6' OR DOUBLE TO 12'	3 1/2"	1 1/2"
	SINGLE OVER 6' TO 12' OR DOUBLE OVER 12' TO 24'	4"	1 1/2"
	SINGLE OVER 12' TO 18' OR DOUBLE OVER 24' TO 36'	6"	
	SINGLE OVER 18' OR DOUBLE OVER 36'	8"	

HEIGHT OF FABRIC POSTS	DEPTH OF CORNER OR PULL POST HOLES	LENGTH OF END CORNER OR PULL POST	SIZE OF POSTS							
			END CORNER & PULL POSTS NOM. SIZE	INSIDE DIA.	WIRE MESH ASTM 1 WIRE A-120 COATED	LINE POST MIN. SIZE				
7'	3"	10'	2 1/2"	2.875	2.79	4.64	3"	2.375	3.65	3.11
8'	3"	9'	2"	2.475	2.46	4.64	2"	2.375	3.65	3.11
8'	3"	8'	2"	2.475	2.46	4.64	1 1/2"	1.800	2.72	2.23
4'	3"	6'	2"	2.475	2.46	4.64	1 1/2"	1.800	2.72	2.23
3'	3"	6'	2"	2.475	2.46	4.64	1 1/2"	1.800	2.72	2.23



PROJECT NO. _____ DATE _____	SHEET _____ N.T.S.	<p>CONSULTING ENGINEERS 1715 East 3500 South South Ogden, Utah 84403 (801) 478-8787</p>	PLEASANT VIEW CITY PUBLIC WORKS STANDARDS CS-20
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GENERAL - CHAIN LINK FENCE DETAILS

STAFF REPORT TO PLANNING COMMISSION

May 10, 2017

C. Cara Bassett Subdivision – Approval of Preliminary and Final Site Plan

Findings of Fact:

1. Property is zoned A-1 (Agricultural) at 325 W 2550 N.
2. Developer desires to construct a subdivision that includes three separate lots and a cul-de-sac.

Conformance to General Plan:

Proposed use conforms to the General Plan.

Standards for Review:

1. Requirements for site plan approval are outlined in Chapter 10.22.060, section 6.

What the City has:

1. Proposed site plan.
2. Service letters for the property.
3. Application fees paid.

Questions to ask:

1. Site development concerns.

Requirements for approval:

1. Construction to comply with all required architecture, landscaping, and screening regulations.
2. Development conform to municipal code requirements.
3. Compliance with requirements of the City Engineer.
4. Compliance with requirements of the Pleasant View City Engineer.

Staff Recommendations:

Grant site plan approval subject to the above requirements.

Required Action:


Motion to Approve (Example: *I move to recommend Approval of the site plan/conditional use, list reasons for approval based on the requirements of the ordinance subject to staff and other agency comments, and other conditions as outlined by the planning commission.*)

Motion to Deny (Example: *I move to recommend Denial of the site plan/conditional use, list reasons for denial based on the requirements of the Ordinance.*)

Motion to Table (Example: *I move to Table the site plan/conditional use, list reasons for tabling, Date tabled to and requirements for reappearance.*)

MEMORANDUM

TO: Andrew Bassett

FROM: Brandon K. Jones, P.E.
Pleasant View City Engineer
Jones and Associates Consulting Engineers 

CC: Bill Cobabe – Pleasant View City Administrator
Jay Palmer – Pleasant View City Public Works Director
Laurence Boswell – Harrisville Land Use Coordinator

RE: **C. CARA BASSETT SUBDIVISION**
Review Memo

Date: May 4, 2017

Our office has completed a review of the Plat and Improvement Plans for the C. Cara Bassett Subdivision, received on April 28, 2017 and we recommend approval of the improvements. The following are our comments and recommendations:

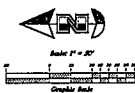
IMPROVEMENT PLANS

1. The asphalt widening, curb and gutter, and sidewalk improvements on 2550 North are being completed as part of the Safe Routes to School Project that the City is completing. The irrigation ditch along 2550 North will also be piped as part of this project. The right-of-way has already been dedicated as a part of the project. No additional dedication to Pleasant View City is required as part of this subdivision.
2. The Developer will be responsible to install the utility services to the lot on 2550 North and will need to complete this work prior to the Safe Routes to School Project so that utility cuts are not made in the newly constructed road. Sanitary sewer, culinary water, and secondary water service connections are shown on the plans. An excavation permit will be required and Pleasant View City Standards will need to be followed for all backfill, asphalt patching, etc.
3. The 10' wide Public Utility Easement (P.U.E.) along 2550 North is associated with that street and although physically located in Harrisville City, the authorization for use of that PUE should be with Pleasant View City.

Should you have any questions, please let us know.

C. Cara Bassett Subdivision

A part of the Northwest 1/4 of Section 32, T7N, R1W, SLB&M, U.S. Survey
Harrisville City, Weber County, Utah
April 2017



NARRATIVE:

This Subdivision Plat was requested by Andrew Bassett for the purpose of subdividing the ground in to four (4) residential lots.
Based on measurements were taken of the Northwest Corner, West 1/4 corner, and Center of Section 32, T7N, R1W, SLB&M, U.S. Survey. A line bearing South 87°32'58" East between the West Quarter corner and Center of said Section 32 was used as the basis of bearings.
Lot corners were monumented as shown.

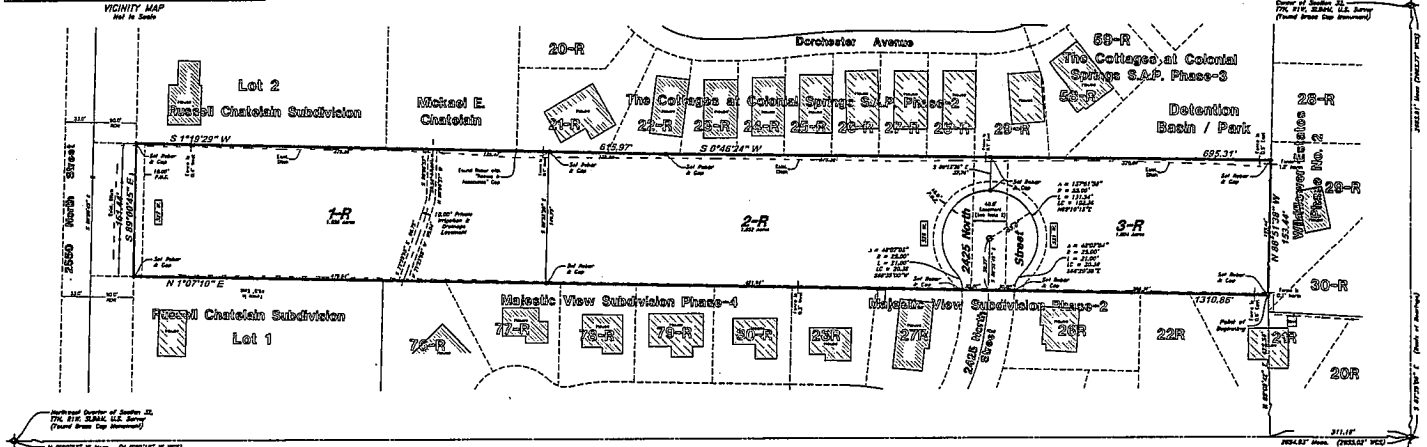
SURVEYOR'S CERTIFICATE

I, Jason T. Fall, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 121212 in accordance with Title 36 Chapter 25, Professional Engineers and Land Surveyors (Utah Code) I was the party who surveyed this C. Cara Bassett Subdivision in Harrisville City, Weber County, Utah and the survey was made in the presence of the Harrisville City Council and the presence of the following members of the Harrisville City Council, and the survey was made in accordance with the provisions of the Utah Code, Title 36, Chapter 25, Professional Engineers and Land Surveyors (Utah Code) and the provisions of the Utah Code, Title 36, Chapter 25, Professional Engineers and Land Surveyors (Utah Code).
Signed this _____ day of _____, 2017.

Legend

- Lot Mark & Marker
- Lot Marker & Cap
- Lot Mark & Mark
- Monument to be set
- Section Corner
- (Red) Right-of-Way
- (Green) Non-Residential
- WCS: Weber County Survey
- ▭ Proposed Right-of-Way to be dedicated to Present Use City

Jason T. Fall



NOTES:

- 10' Wide Public Utility Easements are indicated by dashed lines.
- All lots are restricted to houses without basements. The lowest floor level is shown in 12'-inches above the surface of the street with any further exception, the said no cross observation is otherwise indicated as required. Minimum continuous footing width is 24".
- Current Easements of the property shall be maintained except where new easements are to be constructed.
- Lot 1-8 will be responsible for providing required water valves to the street.

OWNER'S DEDICATION

I, the undersigned owner of the herein described tract of land, hereby do grant and dedicate to the public use of the Harrisville City, Utah, and County of Weber, Utah, the herein described tract of land, to be used as a public right-of-way, and the amount of the dedication is sufficient for the installation of these improvements.

Signed this _____ day of _____, 2017.

ACKNOWLEDGMENT

I, the undersigned, do hereby acknowledge that I am the owner of the herein described tract of land, and that I have executed this instrument in accordance with the provisions of the Utah Code, Title 36, Chapter 25, Professional Engineers and Land Surveyors (Utah Code).

Signed this _____ day of _____, 2017.

DESCRIPTION

A part of the Northwest Quarter of Section 32, Township 7 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, Harrisville City, Weber County, Utah.

Beginning of a point on the East line of Pleasant View Subdivision Phase 2, Harrisville City, Weber County, Utah, being 311.18 feet North 87°32'58" East along the Section line and 422.64 feet North 87°32'58" East from the West Quarter Corner of said Section 32, and running thence North 1°07'10" East 1310.88 feet along said East line and along the East line of Pleasant View Subdivision Phase 1, Harrisville City, Weber County, Utah and the East line of Lot 1, Parcel Chateaux Subdivision, Harrisville City, Weber County, Utah to the South (Right-of-Way) line of 25th North Street, thence South 87°32'58" East 121.64 feet along said South (Right-of-Way) line, thence South 71°28'31" West 612.87 feet to and along the West line of Lot 2, said Parcel Chateaux Subdivision to a point on the West line of the Cottages at Colonial Springs S.A.P. Phase 2, Harrisville City, Weber County, Utah, thence South 87°32'58" West 622.31 feet along said West line to a point on the North line of Pleasant View Subdivision Phase 2, Harrisville City, Weber County, Utah, thence North 87°32'58" West 124.64 feet along said North line to the point of beginning.

Contains 4.841 acres.

PLEASANT VIEW CITY ENGINEER
I hereby certify that of applicable statutes and ordinances pertaining to City Engineer approval of the dedication plat and indications have been complied with.
Signed this _____ day of _____, 2017.

HARRISVILLE CITY ATTORNEY
This is to certify that this subdivision plat was duly approved by the Harrisville City Attorney on the _____ day of _____, 2017.

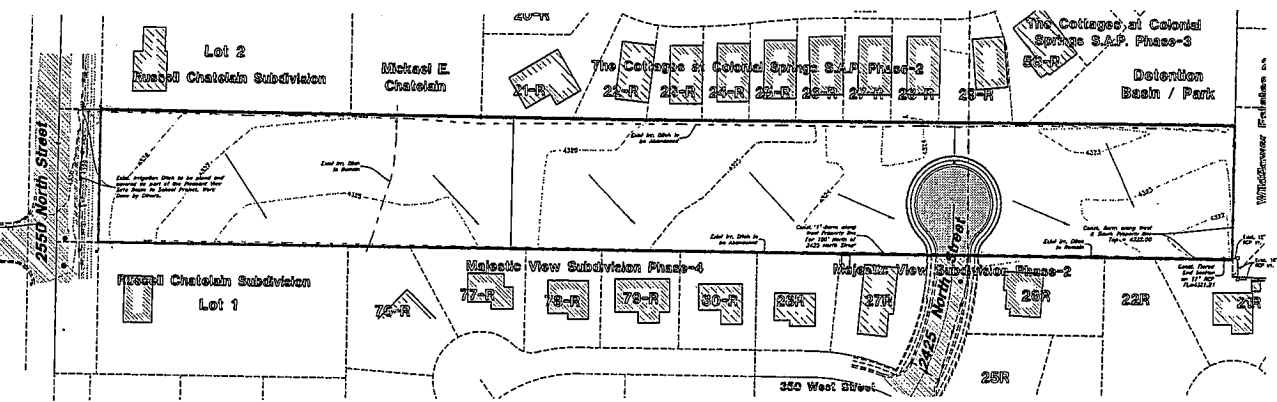
HARRISVILLE CITY ENGINEER
I hereby certify that the required public improvements and easements for this subdivision conform with City ordinances and the amount of the dedication is sufficient for the installation of these improvements.
Signed this _____ day of _____, 2017.

HARRISVILLE CITY COUNCIL ACCEPTANCE
This is to certify that this subdivision plat, the definition of streets and other public ways and thoroughfares, public improvements, including with this subdivision, has been approved and accepted by the City Council of Harrisville City, Utah on the _____ day of _____, 2017.

WEBER COUNTY SURVEYOR
I hereby certify that the Weber County Surveyor's Office has received this plat for the subdivision, reviewed, verified, and for harmony with the laws and ordinances as required by the county office. The approval of this plat by the Weber County Surveyor does not reduce the liability of the Surveyor who executed this plat from the responsibility and/or liability associated therewith.
Signed this _____ day of _____, 2017.

WEBER COUNTY RECORDER	FILED
BOOK _____	PAGE _____
APPROVED _____	RECORDED _____
DATE _____	BY _____





Legend

1/8" = 1' Scale	1/4" = 1' Scale	1/2" = 1' Scale	3/4" = 1' Scale	1" = 1' Scale
2" = 1' Scale	4" = 1' Scale	6" = 1' Scale	8" = 1' Scale	10" = 1' Scale
12" = 1' Scale	16" = 1' Scale	20" = 1' Scale	24" = 1' Scale	30" = 1' Scale
36" = 1' Scale	48" = 1' Scale	60" = 1' Scale	72" = 1' Scale	90" = 1' Scale
108" = 1' Scale	144" = 1' Scale	180" = 1' Scale	216" = 1' Scale	270" = 1' Scale
360" = 1' Scale	720" = 1' Scale	1080" = 1' Scale	1440" = 1' Scale	1800" = 1' Scale
2160" = 1' Scale	2700" = 1' Scale	3240" = 1' Scale	3780" = 1' Scale	4320" = 1' Scale
4860" = 1' Scale	5400" = 1' Scale	6000" = 1' Scale	6480" = 1' Scale	7020" = 1' Scale
7560" = 1' Scale	8100" = 1' Scale	8640" = 1' Scale	9180" = 1' Scale	9720" = 1' Scale
10260" = 1' Scale	10800" = 1' Scale	11340" = 1' Scale	11880" = 1' Scale	12420" = 1' Scale
12960" = 1' Scale	13500" = 1' Scale	14040" = 1' Scale	14580" = 1' Scale	15120" = 1' Scale
15660" = 1' Scale	16200" = 1' Scale	16740" = 1' Scale	17280" = 1' Scale	17820" = 1' Scale
18540" = 1' Scale	19080" = 1' Scale	19440" = 1' Scale	19800" = 1' Scale	20160" = 1' Scale
20520" = 1' Scale	20880" = 1' Scale	21240" = 1' Scale	21600" = 1' Scale	21960" = 1' Scale
22320" = 1' Scale	22740" = 1' Scale	23100" = 1' Scale	23460" = 1' Scale	23820" = 1' Scale
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26100" = 1' Scale	26460" = 1' Scale	26820" = 1' Scale	27180" = 1' Scale	27540" = 1' Scale
27960" = 1' Scale	28320" = 1' Scale	28680" = 1' Scale	29040" = 1' Scale	29400" = 1' Scale
29760" = 1' Scale	30180" = 1' Scale	30540" = 1' Scale	30900" = 1' Scale	31260" = 1' Scale
31620" = 1' Scale	32040" = 1' Scale	32400" = 1' Scale	32760" = 1' Scale	33120" = 1' Scale
33420" = 1' Scale	33780" = 1' Scale	34140" = 1' Scale	34500" = 1' Scale	34860" = 1' Scale
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50100" = 1' Scale	50460" = 1' Scale	50820" = 1' Scale	51180" = 1' Scale	51540" = 1' Scale
51960" = 1' Scale	52320" = 1' Scale	52680" = 1' Scale	53040" = 1' Scale	53400" = 1' Scale
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55500" = 1' Scale	55860" = 1' Scale	56220" = 1' Scale	56580" = 1' Scale	56940" = 1' Scale
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60960" = 1' Scale	61320" = 1' Scale	61680" = 1' Scale	62040" = 1' Scale	62400" = 1' Scale
62760" = 1' Scale	63120" = 1' Scale	63480" = 1' Scale	63840" = 1' Scale	64200" = 1' Scale
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68100" = 1' Scale	68460" = 1' Scale	68820" = 1' Scale	69180" = 1' Scale	69540" = 1' Scale
69960" = 1' Scale	70320" = 1' Scale	70680" = 1' Scale	71040" = 1' Scale	71400" = 1' Scale
71760" = 1' Scale	72120" = 1' Scale	72480" = 1' Scale	72840" = 1' Scale	73200" = 1' Scale
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75300" = 1' Scale	75660" = 1' Scale	76020" = 1' Scale	76380" = 1' Scale	76740" = 1' Scale
77100" = 1' Scale	77460" = 1' Scale	77820" = 1' Scale	78180" = 1' Scale	78540" = 1' Scale
78960" = 1' Scale	79320" = 1' Scale	79680" = 1' Scale	80040" = 1' Scale	80400" = 1' Scale
80760" = 1' Scale	81120" = 1' Scale	81480" = 1' Scale	81840" = 1' Scale	82200" = 1' Scale
82500" = 1' Scale	82860" = 1' Scale	83220" = 1' Scale	83580" = 1' Scale	83940" = 1' Scale
84300" = 1' Scale	84660" = 1' Scale	85020" = 1' Scale	85380" = 1' Scale	85740" = 1' Scale
86100" = 1' Scale	86460" = 1' Scale	86820" = 1' Scale	87180" = 1' Scale	87540" = 1' Scale
87960" = 1' Scale	88320" = 1' Scale	88680" = 1' Scale	89040" = 1' Scale	89400" = 1' Scale
89760" = 1' Scale	90120" = 1' Scale	90480" = 1' Scale	90840" = 1' Scale	91200" = 1' Scale
91500" = 1' Scale	91860" = 1' Scale	92220" = 1' Scale	92580" = 1' Scale	92940" = 1' Scale
93300" = 1' Scale	93660" = 1' Scale	94020" = 1' Scale	94380" = 1' Scale	94740" = 1' Scale
95100" = 1' Scale	95460" = 1' Scale	95820" = 1' Scale	96180" = 1' Scale	96540" = 1' Scale
96960" = 1' Scale	97320" = 1' Scale	97680" = 1' Scale	98040" = 1' Scale	98400" = 1' Scale
98760" = 1' Scale	99120" = 1' Scale	99480" = 1' Scale	99840" = 1' Scale	100200" = 1' Scale

GENERAL NOTES:

1. All construction must meet or exceed Harrisville City Standards. Construction within 2550 North Street shall meet or exceed Harrisville City Standards.
2. Sewer, Gas, Utility, and Water to be installed in a trench along edge.
3. Sewer, Gas, Utility, & 2550 North Street shall be coordinated with Harrisville Water Street Utility.
4. All Construction involving Impervious Facilities shall be done in accordance to Pine View Water Standards.

IRREGULAR NOTE:

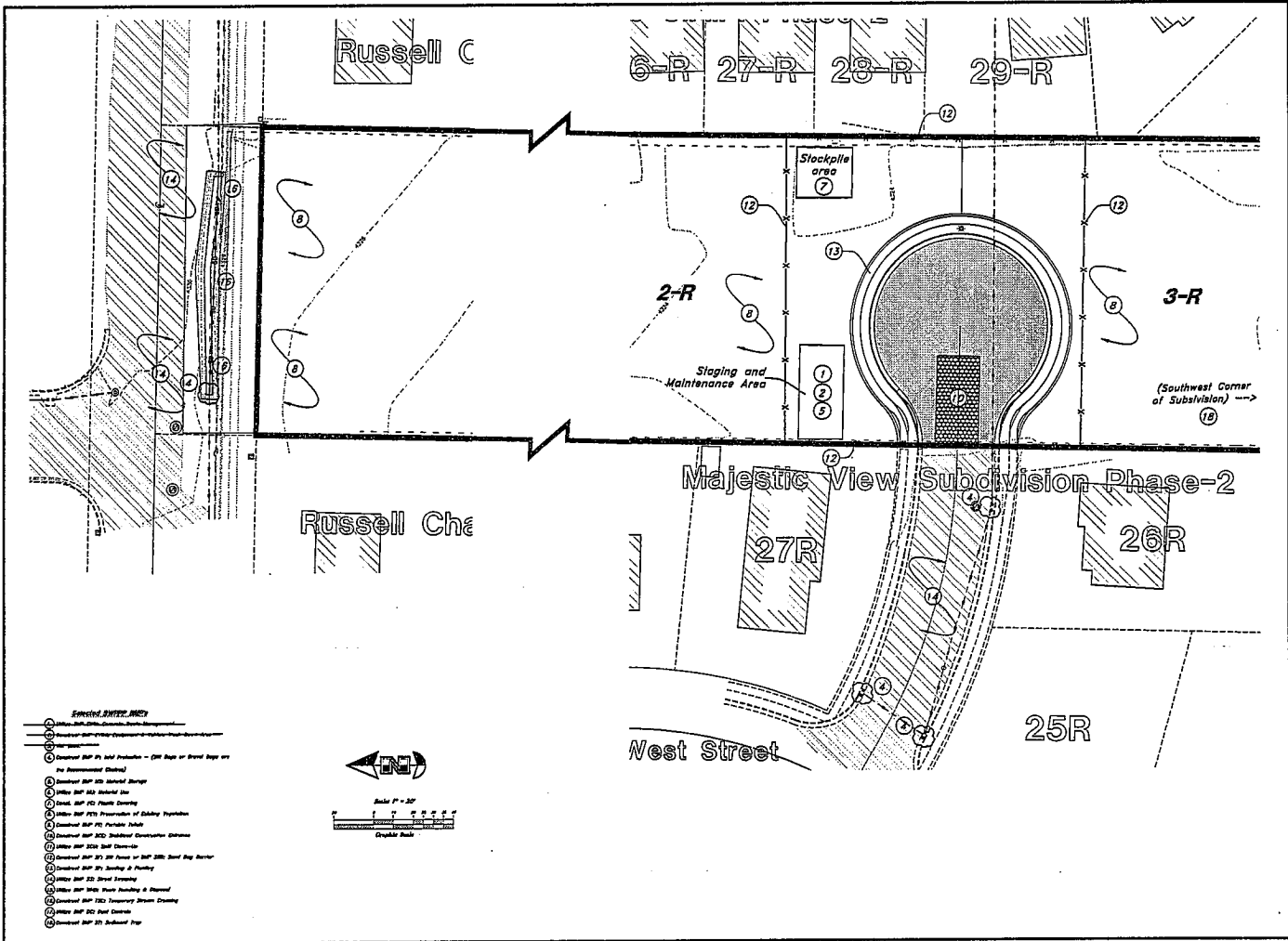
1. All on-site Impervious areas shall be abandoned with the exception of the area along 2550 North Street, and Impervious Service provided by Pine View Water.

BENCHMARK:
West Quarter Corner of Section 22, T7N, R1W, S18AK, Top of Brass Cap Monument. Elevation = 4316.53

GREAT BASIN ENGINEERING
www.greatbasinengineering.com

Site Grading Plan
C. Cara Bassett Subdivision
A part of Section 22, T7N, R1W, S18AK, 6th, Dorcy

13 April, 2017
C2



GREAT BASIN ENGINEERING

Sediment and Erosion Control Plan
C. LeYere Chatelain Subdivision

13 April, 2017

SECP

HARRISVILLE CITY
PRELIMINARY SUBDIVISION PLAN APPLICATION

Date 02/29/2017

Name of Subdivision C. LeVere Chatelain Zone _____

Approximate Address 2550 N. 325 W. HARRISVILLE, UT

Property Owner's Name James Bassett Address 591 N. 2750 W.

Developer's Name James Bassett Phone 801-628-8710 -mail bassettj@yahoo.com
Address 591 N. 2750 W. West Point Fax # _____

Developer's Engineer Great Basin Contact Person Jason Felt
Engineer's Phone # 801-394-4515 Fax # _____ E-mail jason.f@greatbasineng.com

General Contractor _____
Contractor's Phone # _____ Fax # _____ E-mail _____

Project size-acres 1.5 Number of lots 3 Existing zone _____

Secondary Water Available? yes

Culinary Water Available? yes

Sewer Connection Available? yes

Prescripted easements? yes

Is Property in a Flood Hazard Area? No

Designated wetlands on property? No

Future proposed trails? No

Lowest Elevation _____
(Refer to municipal code title 12, paragraph 12.02.020)

APPROVAL DATES

Pre application meeting 3/9/17 Preliminary plat review _____

Planning Commission _____ City Council _____

FEES

Conceptual / Preliminary: \$2000 + \$50 per lot or unit _____ Receipt # 048405



**WEBER-BOX ELDER™
CONSERVATION DISTRICT**

April 25, 2017

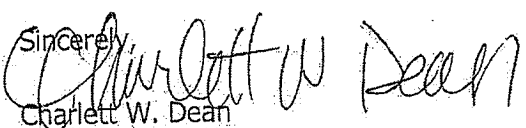
Harrisville City Planning
Re: C. Levere Chatelain Subdivision

To Whom It May Concern:

I have reviewed the plans for C. Levere Chatelain Subdivision, our Board has approved this development for inclusion into the secondary water district. The water share requirements for this project have been met and we will serve this development upon completion.

Please contact me with any questions or concerns.

Sincerely,


Charlett W. Dean

Connections & Assessments
801-622-4342

471 West 2nd Street
Ogden, UT 84404
801-621-6555

February 13, 2017

Andrew Bassett
1465 Hudson St
Ogden, UT 84404

RE: Request 6313414

Dear Mr. Bassett:

Rocky Mountain Power will supply power to property located at or near 325 W 2550 N, Harrisville, UT, with the following provisions:

- Applicant will apply for power by calling 1-888-221-7070
- Applicant or Developer will supply a signed, approved recorded property plat map with lot numbers, addresses, and section corners identified if applicable.
- Residential and Commercial Developer will supply an electronic copy of the subdivision by e-mail, (Auto-cad version 2011), to the estimator assigned to the project.
- Residential Subdivision Developer will pay all costs which are non-refundable above the \$750.00 per lot allowance according to line extension tariff, regulation 12.
- All single lot applicants will be subject to the line extension rules and regulation 12.
- Applicant is responsible to sign a contract after job is approved by Rocky Mountain Power management, and pay any associated costs before work can be scheduled or materials ordered.
- Rocky Mountain Power engineering review may be required and may be subject to additional charges according to our filed line extension tariff, regulation 12.

If you have any questions regarding these provisions, please feel free to call me at 801-629-4434.

Respectfully,



Craig Garner
Estimator
Rocky Mountain Power

February 13, 2017

Andrew Bassett
325 W 2550 N
Harrisville, UT 84414

Dear Developer:

Re: Natural Gas Service Availability Letter

Natural gas can be made available to serve the C. Levere Chatelain Subdivision when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules, average size of homes, units, and/or buildings that will be served by natural gas, and any and all other relevant information regarding commercial and residential uses, including but no limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review and analysis by Questar Gas' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Questar Gas' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,



Jory McCormick
Pre-Construction Representative

North View Fire District

315 East 2550 North
North Ogden, UT 84414
Phone: 782-8159
Fax: 782-3532

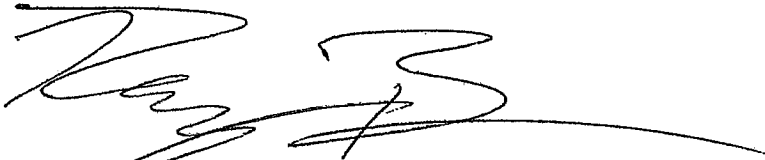
February 13, 2017

To Whom IT May Concern;

As the Authority having Jurisdiction I have been contacted by Mr. Andrew Bassett regarding developing a parcel of land located near 350 West 2550 North, Harrisville UT. North View Fire District covers the cities of Harrisville, Pleasant View and North Ogden. This proposed subdivision falls within the boundaries of North View Fire District.

North View Fire District will provide the proposed development with both Fire and EMS services.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ryan Barker', with a long horizontal flourish extending to the right.

Ryan Barker
Fire Marshal
North View Fire District



Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

February 28, 2017

Harrisville City Planning Commission
363 West Independence Boulevard
Harrisville, UT 84404

RE: WILL SERVE LETTER – C. LeVere Chatelain Subdivision

The development is located at approximately 2550 North 325 West consisting of 3 lots.

The Bona Vista Water District does have culinary water available for the above project located at the above address.

A connection for domestic purpose only can be available. The fee at this time for a 3/4" connection and a 5/8" x 3/4" meter is \$1992.00.

You will need to bring proof of secondary water for outside use. The fee needs to be paid and application be made for service before culinary water will be made available.

The owner or contractor will need to furnish all materials and labor to run the service line. The District will furnish and set the water meter. All materials and workmanship must be in accordance with the Water District's specifications which are made available in our office.

Sincerely,

Blake Carlin
Assistant Manager

Board of Directors
Z. Lee Dickemore, Chairman – Farr West City
Keith Butler, Co-Chairman – Marriott/Slatterville
Bruce Richins – Harrisville
Bruce Higley – Plain City
Ronald Stratford – Unincorporated Area

Management
Jerry Allen, Manager
Blake Carlin, Assistant Manager
Marci Hodson, Office Manager