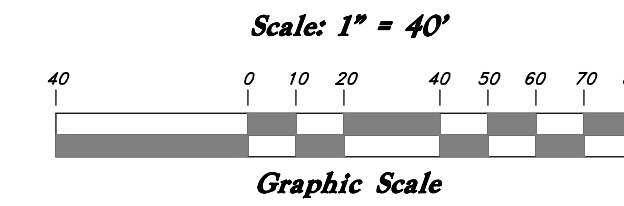
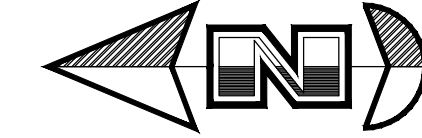


NARRATIVE

This survey and subdivision plat were requested by Wildflower L.L.C. for the purpose of subdividing Fifteen (15) residential lots and One (1) Parcel.
 A Brass Cap Monument was found at the Center of Section 32, T7N, R1W, SLB&M.
 A line bearing N 35°22'46" E between the monument found marking the Center of Section and the South Tower of Mount Ogden was used as the Basis of Bearings as depicted on this drawing.
 Lot Corners were set as depicted on this plat. Rivets to be set in the curb at the extension of lot lines once curb is installed.

Wildflower Estates Phase No. 6

A part of the Southwest 1/4 of Section 32, T7N, R1W, SLB&M, U.S. Survey
 Harrisville City, Weber County, Utah



SURVEYOR'S CERTIFICATE

I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act. I also certify that this plat of Wildflower Estates Subdivision No. 6, in Harrisville City, Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground in accordance with Section 17-23-17.
 Signed this _____ day of _____, 2014.

6242920
 License No.

Andy Hubbard

Legend

- ▲ Set Nail & Washer
- Set Rebar & Cap w/ Fencepost
- Set Hub & Tack
- ⊙ Monument to be set (Rad.) Radial Line
- (N/R) Non-Radial Line

ACKNOWLEDGMENT

State of Utah _____
 County of _____ ss

The foregoing instrument was acknowledged before me this _____ day of _____ 20____ by _____.

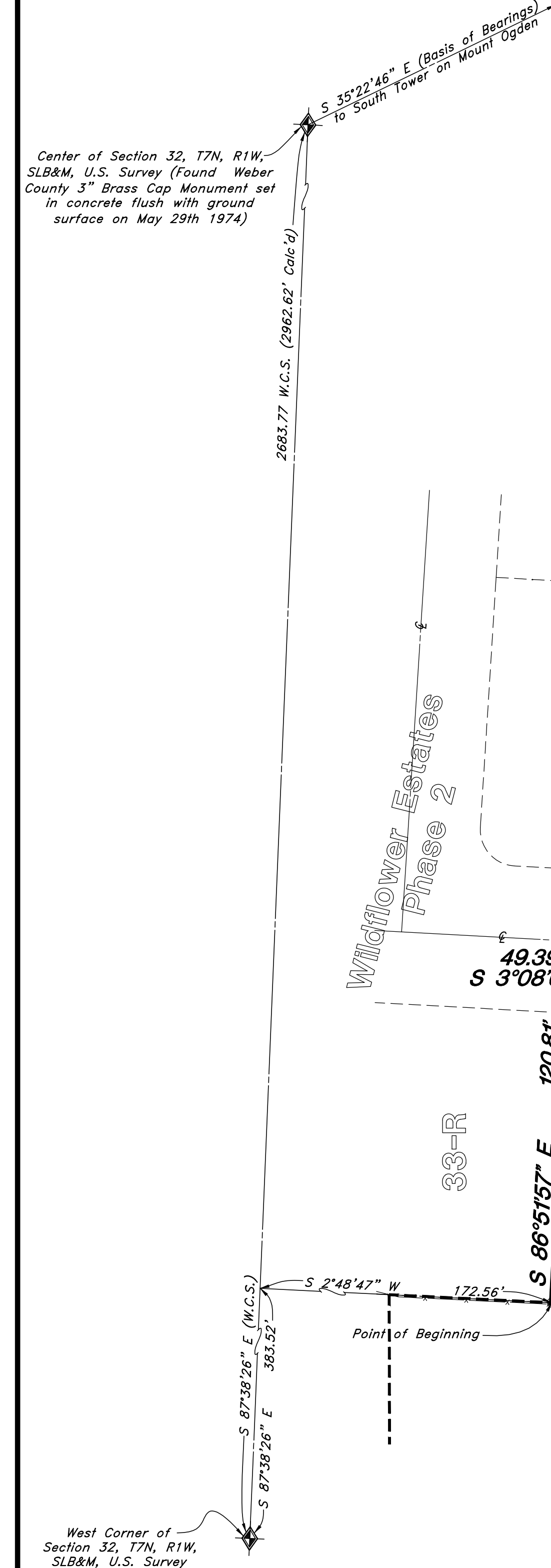
Residing At: _____
 Commission Number: _____
 Commission Expires: _____
 A Notary Public commissioned in Utah
 Print Name

CENTERLINE CURVE DATA

(A)	(B Total)
Δ = 21°24'27"	Δ = 25°03'25"
R = 301.56'	R = 256.51'
L = 112.67'	L = 112.18'
LC = 112.02'	LC = 111.29'
N 11°13'09" W	S 9°23'40" E
T = 57.00'	T = 57.00'

PROPERTY LINE CURVE DATA

(1) Δ = 105°10'14" R = 20.00' L = 36.71' LC = 31.77' S 36°53'57" W	(2) Δ = 15°10'14" R = 331.56' L = 87.79' LC = 87.53' N 8°06'03" W
(3) Δ = 21°24'27" R = 271.56' L = 101.46' LC = 100.87' N 11°13'09" W	(4) Δ = 25°03'25" R = 286.51' L = 125.30' LC = 124.30' S 9°23'40" E
(5) Δ = 6°53'43" R = 226.51' L = 27.26' LC = 27.24' N 0°18'48" W	(6) Δ = 86°45'16" R = 20.00' L = 30.28' LC = 27.47' S 47°08'18" E
(7) Δ = 85°52'33" R = 15.00' L = 22.48' LC = 20.44' N 46°52'48" E	(8) Δ = 94°07'27" R = 15.00' L = 24.64' LC = 21.96' N 43°27'12" W



Wildflower Estates - Phase 5

OWNER'S DEDICATION

We, the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same into lots, Parcels and streets as shown on this plat, and name said tract Wildflower Estates Phase No. 6, and hereby dedicate, grant and convey to Harrisville City, Weber County, Utah, all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and also dedicate grant and convey to Harrisville City those certain strips as easements, and Parcel B (Detention Facility) for public utility and drainage purposes as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage, as may be authorized by Harrisville City.
 Signed this _____ day of _____, 2014.
 Wildflower Development L.L.C.

Matt Jensen - Manager
 585 West 3700 South
 Riverdale, UT 84405

BOUNDARY DESCRIPTION

A part of the Southwest Quarter of Section 32, Township 7 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey; Beginning at the Southwesterly corner of Wildflower Estates Phase No. 2, said point being 383.52 feet South 87°38'26" East along the Quarter Section line and 172.56 feet South 2°48'47" West from the West Quarter corner of said Section; and running thence three (3) courses along the Southerly boundary line of said Phase No. 2 as follows: South 86°51'57" East 120.81 feet; thence South 3°08'03" West 49.39 feet and South 86°23'28" East 179.25 feet to the Westerly boundary line of Wildflower Estates Phase No. 5, a subdivision in Harrisville City, Weber County, Utah; thence three (3) courses along said Westerly boundary line as follows: (1) South 3°20'45" West 622.96 feet; (2) North 89°29'04" East 16.47 feet and (3) South 0°30'56" East 168.94 feet to an existing fence line; thence South 73°57'30" West 11.26 feet along said fence line; thence South 89°29'04" West 310.10 feet; thence North 2°48'47" East 864.87 feet to the point of beginning.
 Contains 5.699 Acres

HARRISVILLE CITY ENGINEER

I hereby certify that the required public improvement standards and drawings for this subdivision conform with City standards and the amount of the financial guarantee is sufficient for the installation of these improvements.
 Signed this _____ day of _____, 2014.

Signature

HARRISVILLE CITY COUNCIL ACCEPTANCE

This is to certify that this subdivision plat, the dedication of streets and other public ways and financial guarantee of public improvements associated with this subdivision, thereon are hereby approved and accepted by the City Council of Harrisville City, Utah this _____ day of _____, 2014.

Title

Attest

Chair, Harrisville City Council

HARRISVILLE CITY PLANNING COMMISSION APPROVAL

This is to certify that this subdivision plat was duly approved by the Harrisville City Planning Commission on the _____ day of _____, 2014.

Chair,

Planning Commission

HARRISVILLE CITY ATTORNEY

This is to certify that this subdivision plat was duly approved by the Harrisville City Attorney on the _____ day of _____, 2014.

Harrisville City Attorney

DEVELOPER:
 Wildflower Development LLC
 1500 North 7900 East
 Hunsville City, UT 84317

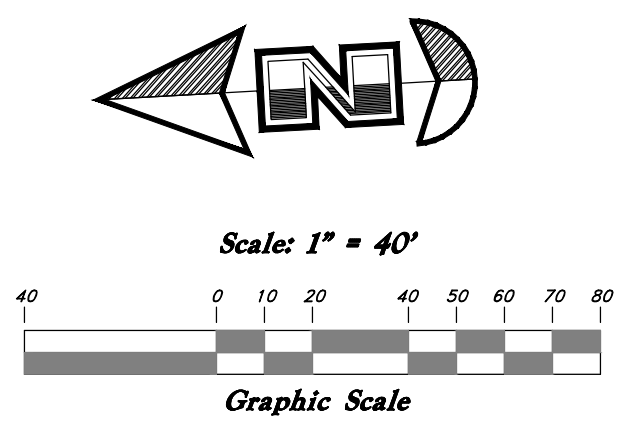
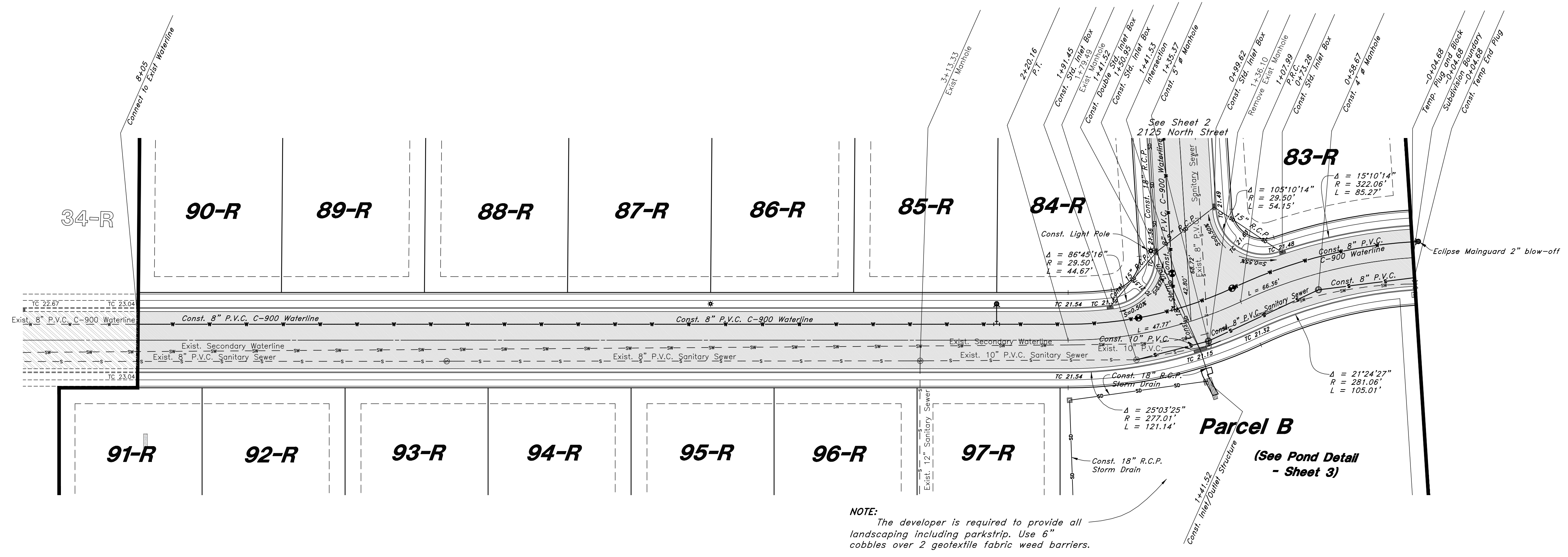
WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
 FILED FOR RECORD AND
 RECORDED _____ AT
 _____ IN BOOK _____ OF OFFICIAL
 RECORDS, PAGE _____ RECORDED
 FOR _____

WEBER COUNTY RECORDER

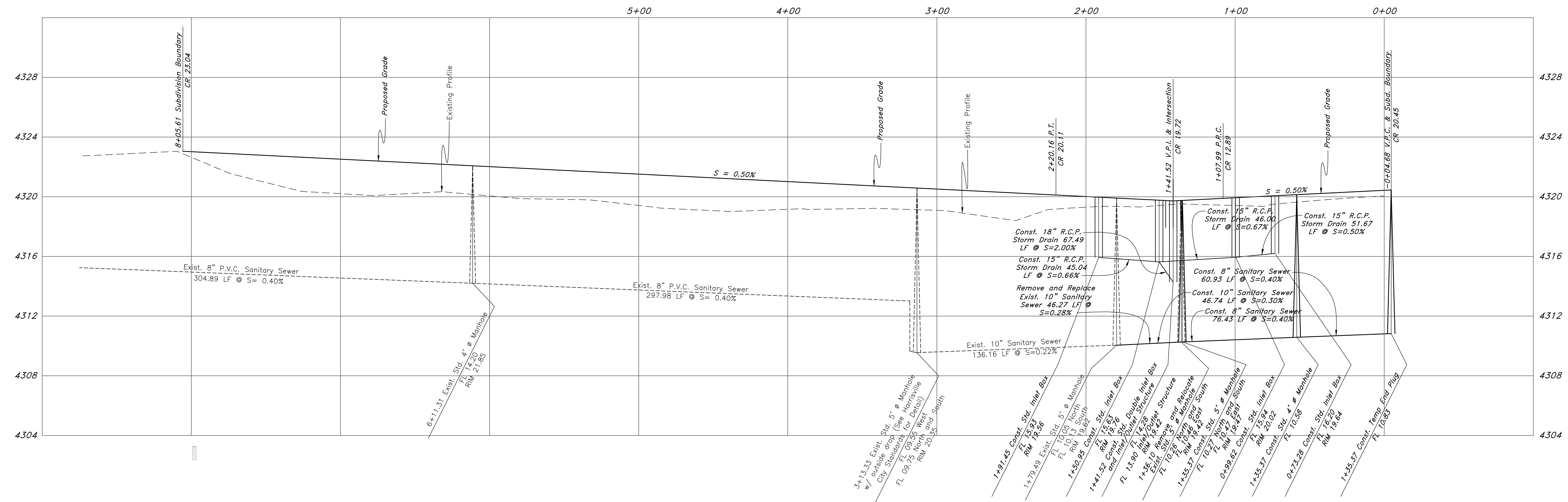
BY: _____ DEPUTY



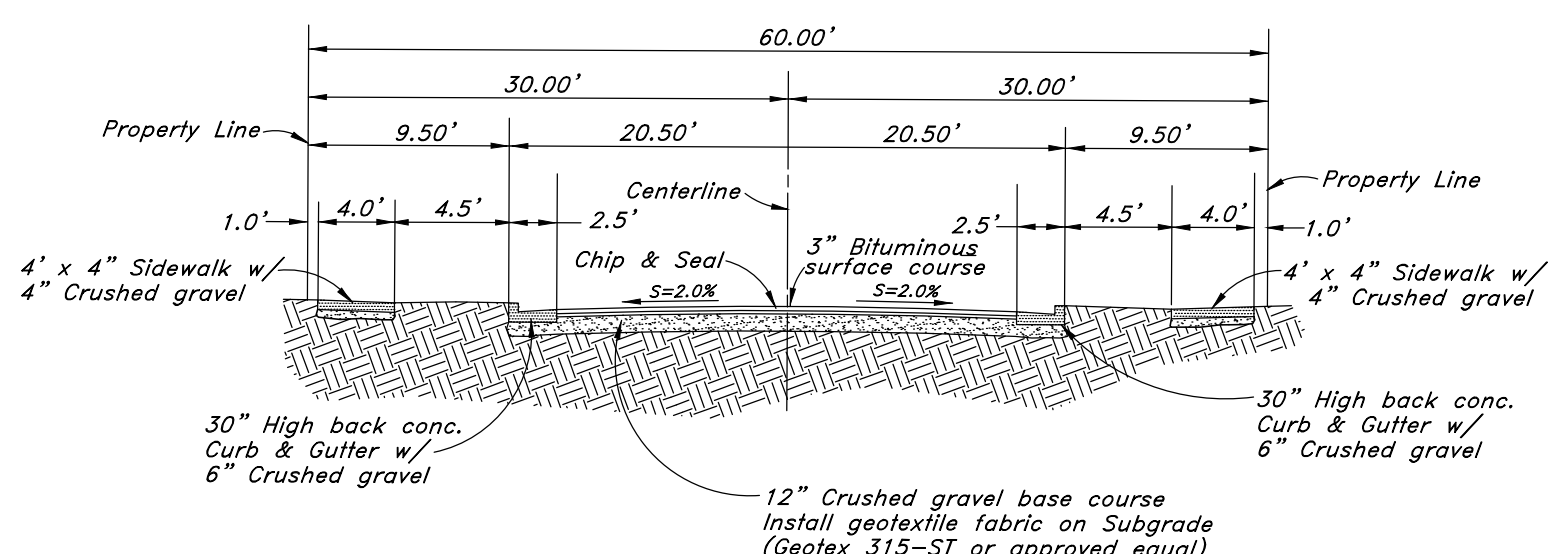


Legend
(Note: All items may not appear on drawing)

San. Sewer Manhole	⊙
Water Manhole	⊙
Storm Drain Manhole	⊙
Electrical Manhole	⊙
Catch Basins	⊙
Exist. Fire Hydrant	⊙
Exist. Water Valve	⊙
Sanitary Sewer	—
Culinary Water	—
Gas Line	—
Irrigation Line	—
Storm Drain	—
Telephone Line	—
Secondary Waterline	—
Power Line	—
Fire Line	—
Land Drain	—
Power pole w/guy	—
Light Pole	—
Fence	—
Flowline of ditch	—
Overhead Power line	—
Corrugated Metal Pipe	—
Concrete Pipe	—
Reinforced Concrete Pipe	—
Ductile Iron	—
Polyvinyl Chloride	—
Top of Asphalt	—
Edge of Asphalt	—
Centerline	—
Flowline	—
Finish Floor	—
Top of Curb	—
Top of Wall	—
Top of Walk	—
Top of Concrete	—
Natural Ground	—
Finish Contour	—
Exist. Contour	—
Exist. Grade	—
Ridge Line	—
Direction of Flow	—
Existing Asphalt	—
New Asphalt	—
Heavy Duty Asphalt	—
Concrete	—
Open Face Curb & Gutter	—

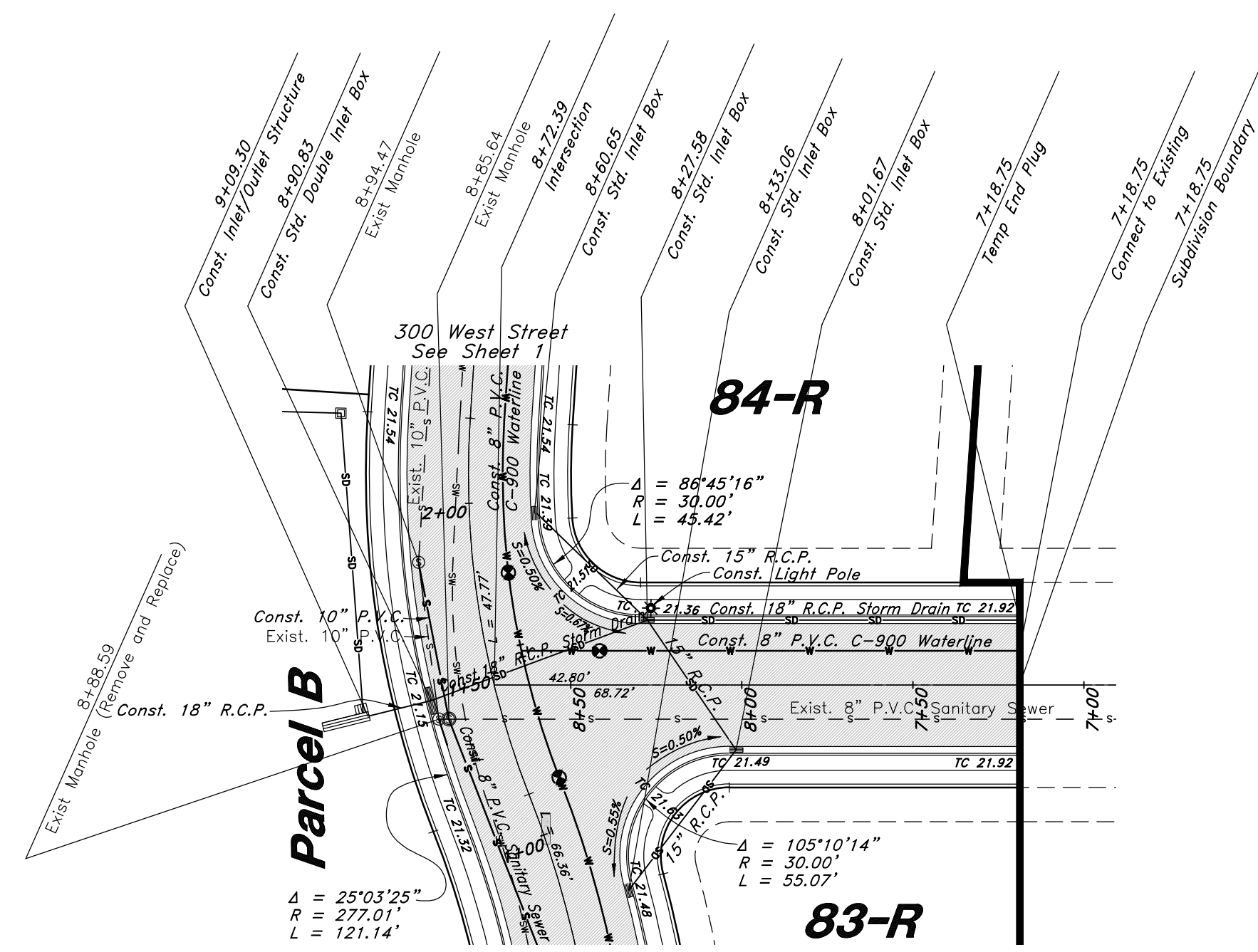


- NOTES:**
1. Tops of Both Curbs to be the same elevation as crown of road, unless otherwise shown.
 2. All construction must meet or exceed Harrisville City Standards.
 3. Culinary Water services will be extended 10' beyond Right-of-way line and Centered in Lots.
 4. Bona Vista will require either Romac Blue Bolts, or stainless Steel bolts on fittings and metal fittings must be poly wrapped, per Bona Vista requirements.
 5. Sanitary Sewer will be extended 10' beyond the Right-of-way line 10.0' on the Downhill side of the Center of Lots.
 6. Saw Cut Existing Asphalt to provide a smooth clean edge.
 7. All utility trenches within the Street right of way shall have a City approved imported granular backfill.
 8. Prior to construction of streets, the backfill in the existing utility trenches must be checked for adequate compaction. If compaction is not adequate, the trench sections will need to be removed & compacted with imported and compacted granular materials.
 9. All utility trenches inside the proposed street rights-of-way must be provided with imported & compacted granular materials. All imported granular materials must be reviewed and approved by the City prior to installation.
 10. An overall subdivision grading plan will be provided showing how all lots will have sufficient surface drainage in the rear of the lots.
 11. The south end of the proposed 300 West roadway has been filled in with native material to accommodate construction of the utilities on 2150 North Street. This fill will need to be removed to native ground and replaced with structural fill.
 12. Some of the facilities for this Detention pond were constructed with previous phases of the development, contractor will need to retain and protect existing infrastructure during final grading and fence construction.

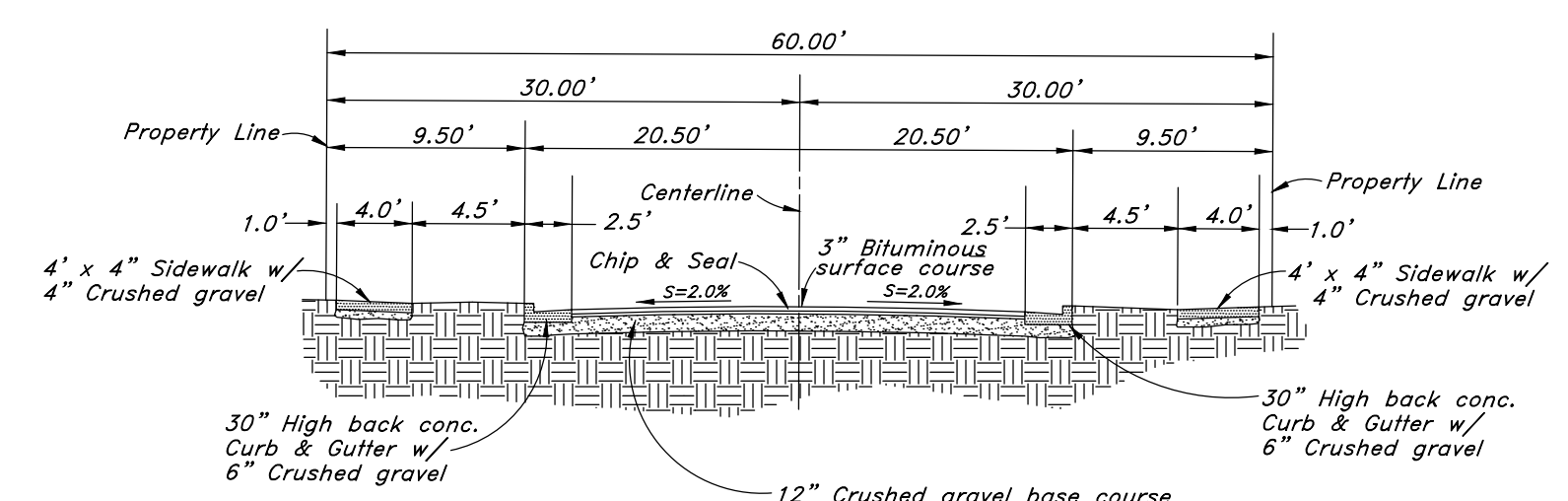
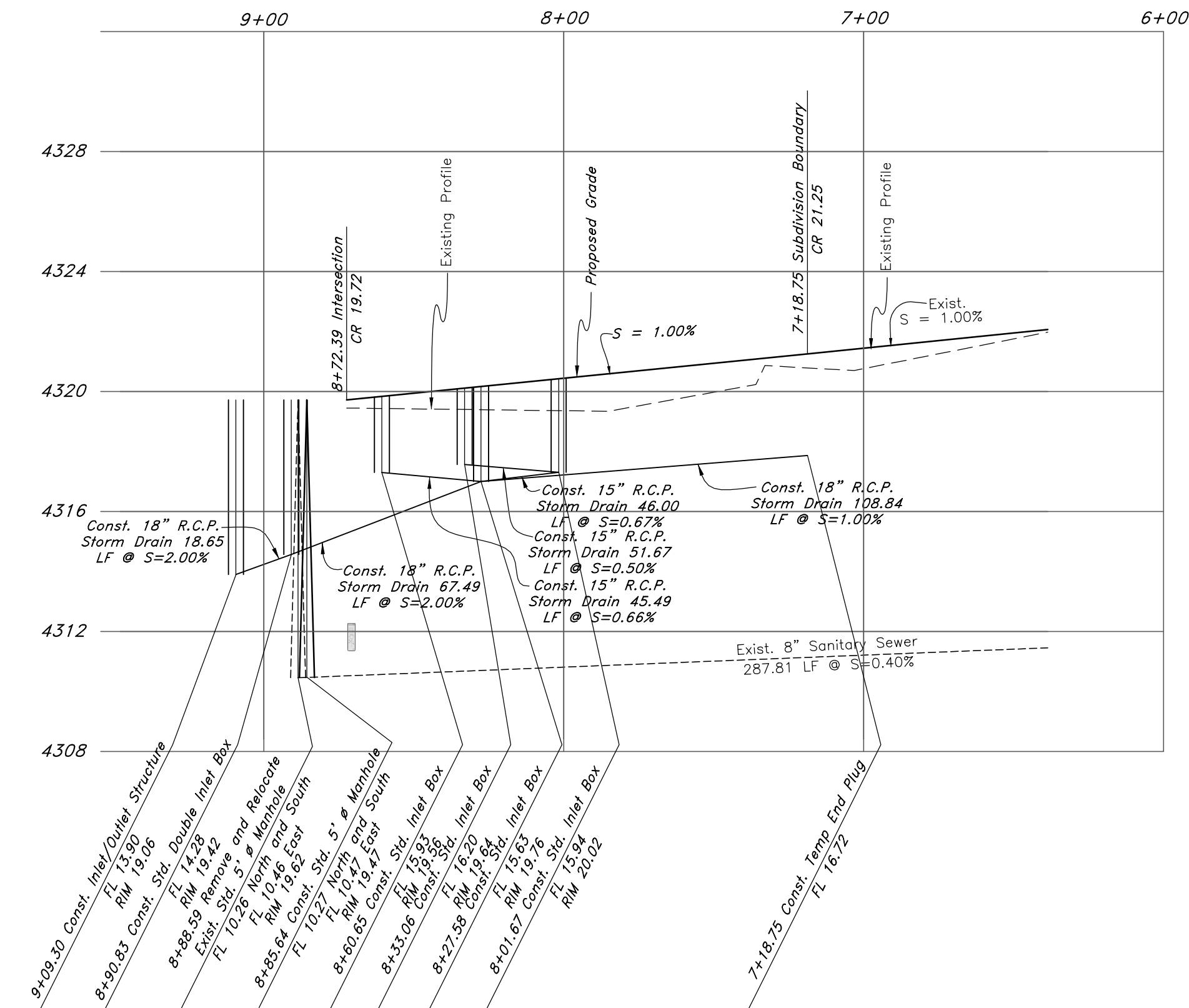


BENCHMARK:
Top of Harrisville City monument in the intersection of 2275 North and 300 West in the Southwest corner of Section 32, T7N, R1W, SLB&M, U.S. Survey.
Elevation 4222.41

Plan / Profile		Wildflower Estates Phase No. 6	
A part of the Southwest 1/4 of Section 32, T7N, R1W, SLB&M, U.S. Survey		Harrisville City, Weber County, Utah	
	GREAT BASIN ENGINEERING	DATE: 4 Oct, 2011	REVISIONS: 3 July, 2008
		DRAWN: AH & LT	9 Feb, 2012
		SCALE: 1"=40'	28 Apr, 2014
		DRWG. NO. 1 of 4	

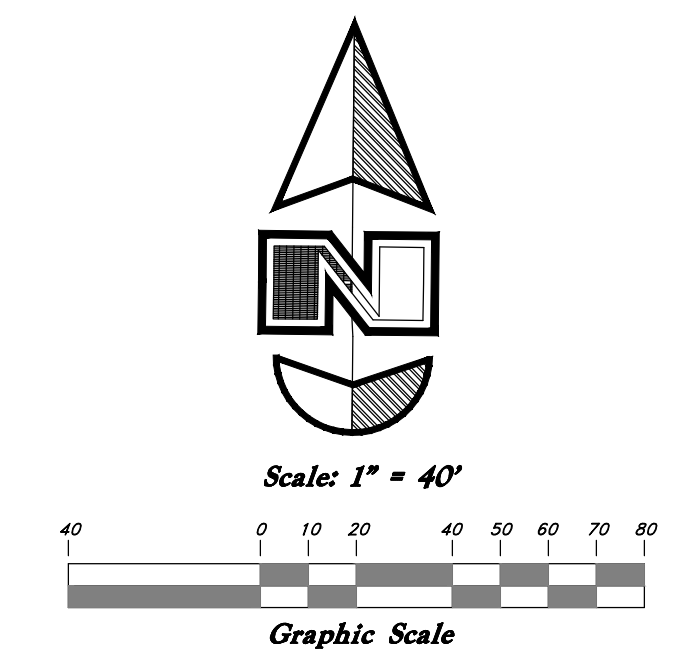


2125 North Street



**Harrisville City
Street Section**

BENCHMARK:
Top of Harrisville City monument in the intersection of 2275 North and 300 West in the Southwest corner of Section 32, 7N, R1W, SLB&M, U.S. Survey. Elevation 4222.41



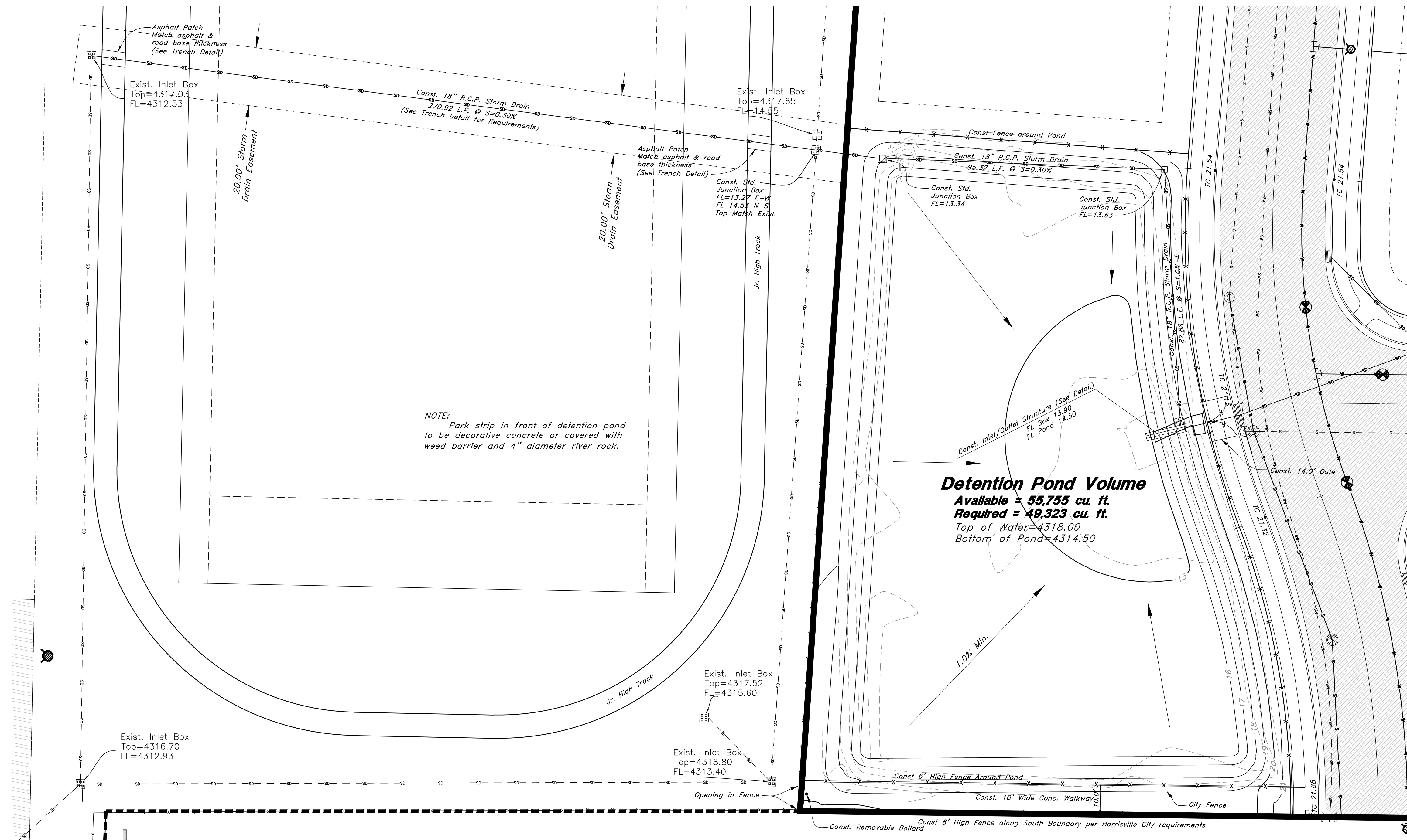
Legend

(Note: All items may not appear on drawing)

San. Sewer Manhole	
Water Manhole	
Storm Drain Manhole	
Electrical Manhole	
Catch Basin	
Exist. Fire Hydrant	
Exist. Water Valve	
Water Valve	
Sanitary Sewer	
Culinary Water	
Gas Line	
Irrigation Line	
Storm Drain	
Telephone Line	
Secondary Waterline	
Power Line	
Fire Line	
Land Drain	
Power pole	
Power pole w/guy	
Light Pole	
Fence	
Flowline of ditch	
Overhead Power line	
Corrugated Metal Pipe	
Concrete Pipe	
Reinforced Concrete Pipe	
Ductile Iron	
PVC	
Polyvinyl Chloride	
Top of Asphalt	
Edge of Asphalt	
Centerline	
Flowline	
Finish Floor	
Top of Wall	
Top of Curb	
Top of Walk	
Top of Concrete	
Natural Ground	
Finish Contour	
Exist. Contour	
Finish Grade	
Exist. Grade	
Ridge Line	
Direction of Flow	
Existing Asphalt	
New Asphalt	
Heavy Duty Asphalt	
Concrete	
Open Face Curb & Gutter	

- NOTES:**
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Plan / Profile		Wildflower Estates Phase No. 6 A part of the Southwest 1/4 of Section 32, 7N, R1W, SLB&M, U.S. Survey Harrisville City, Weber County, Utah	
	DATE : 4 Oct, 2011	REVISIONS :	DRAWG. NO.
	DRAWN : AH & LT	3 July, 2008	2
	SCALE : 1"=40'	9 Feb, 2012	28 Apr, 2014



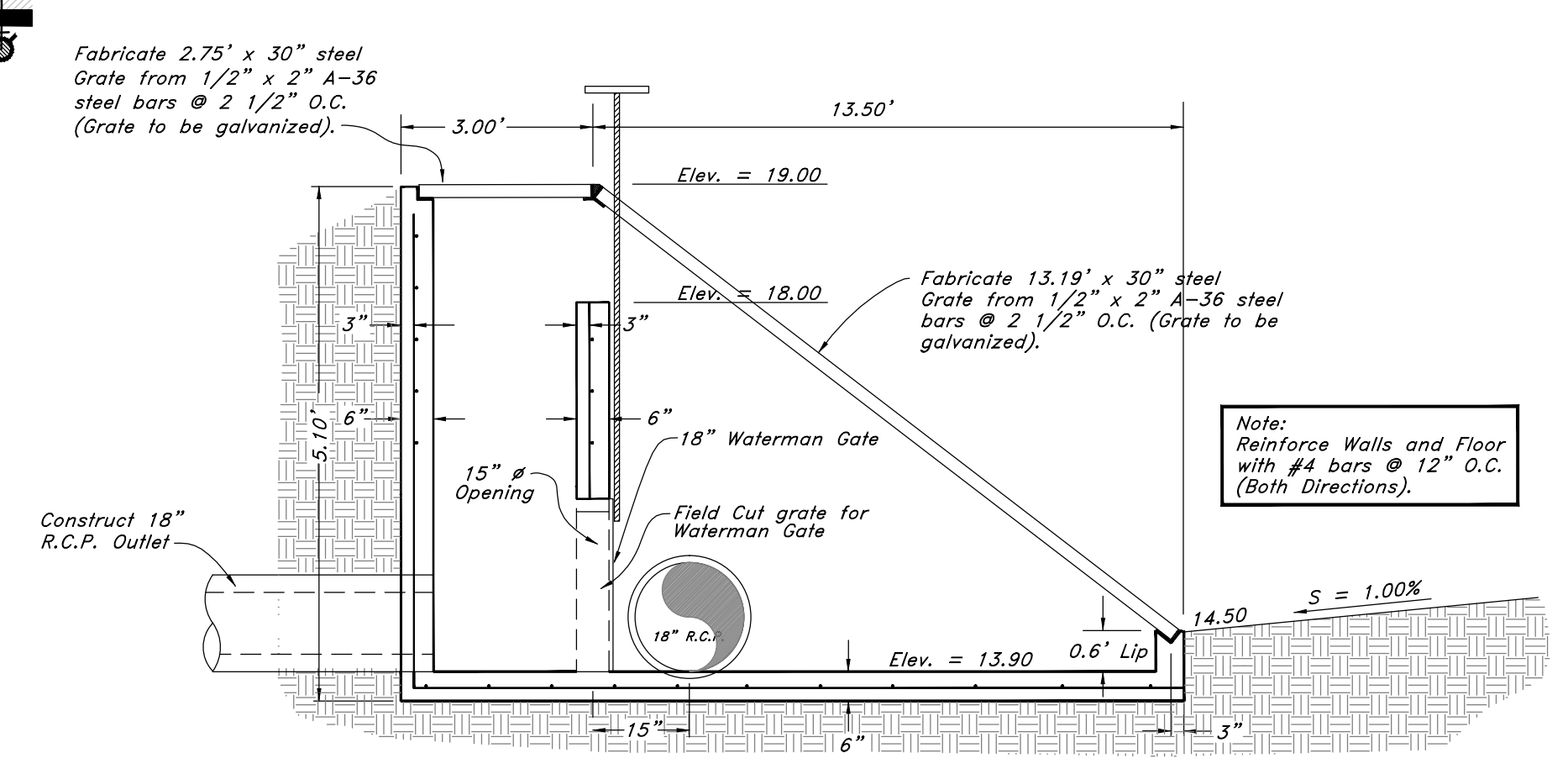
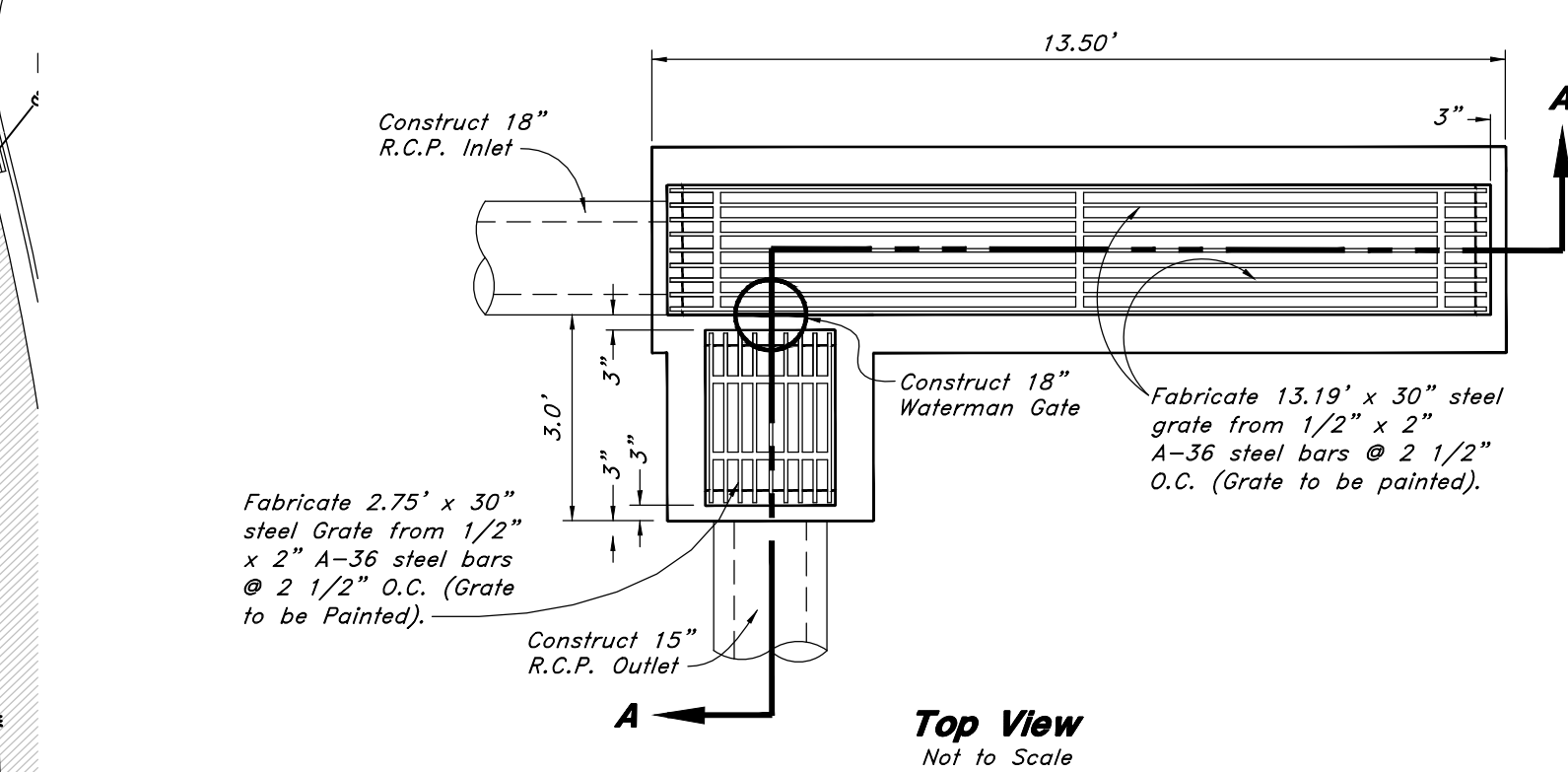
Legend
(Note: All items may not appear on drawing)

- San. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
- Exist. Water Valve
- Water Valve
- Sanitary Sewer
- Culinary Water
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- Irrigation Line
- Storm Drain
- Telephone Line
- Secondary Waterline
- Power Line
- Fire Line
- Land Drain
- Power pole w/guy
- Light Pole
- Fence
- Flowline of ditch
- Overhead Power line
- Corrugated Metal Pipe
- Concrete Pipe
- Reinforced Concrete Pipe
- Ductile Iron
- Polyvinyl Chloride
- Top of Asphalt
- Edge of Asphalt
- Centerline
- Flowline
- Finish Floor
- Top of Curb
- Top of Wall
- Top of Walk
- Natural Ground
- Finish Contour
- Exist. Contour
- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter

Scale: 1" = 20'
Graphic Scale

NOTE:
Park strip in front of detention pond to be decorative concrete or covered with weed barrier and 4" diameter river rock.

Detention Pond Volume
Available = 55,755 cu. ft.
Required = 49,323 cu. ft.
Top of Water = 4318.00
Bottom of Pond = 4314.50

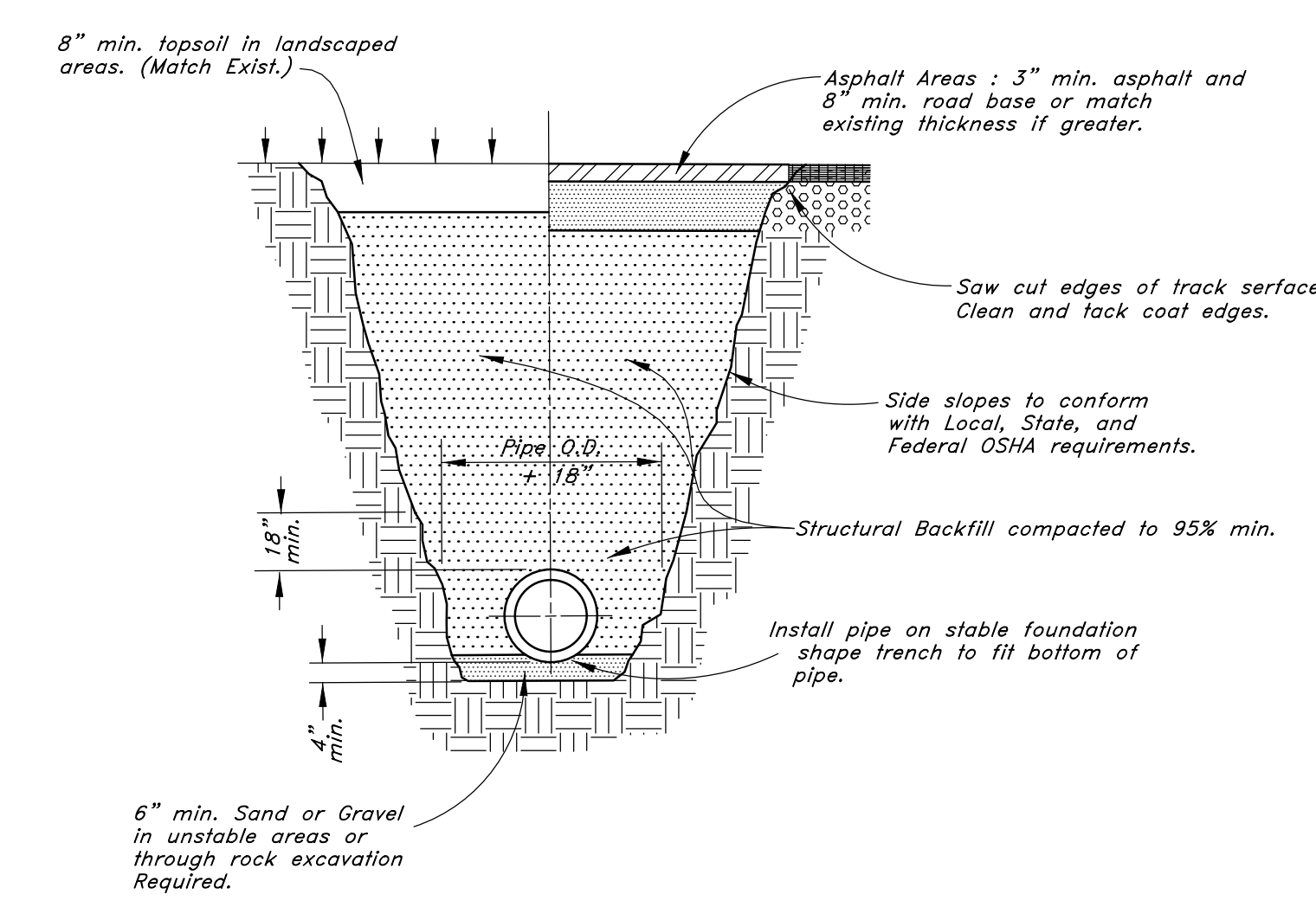


Detention Pond

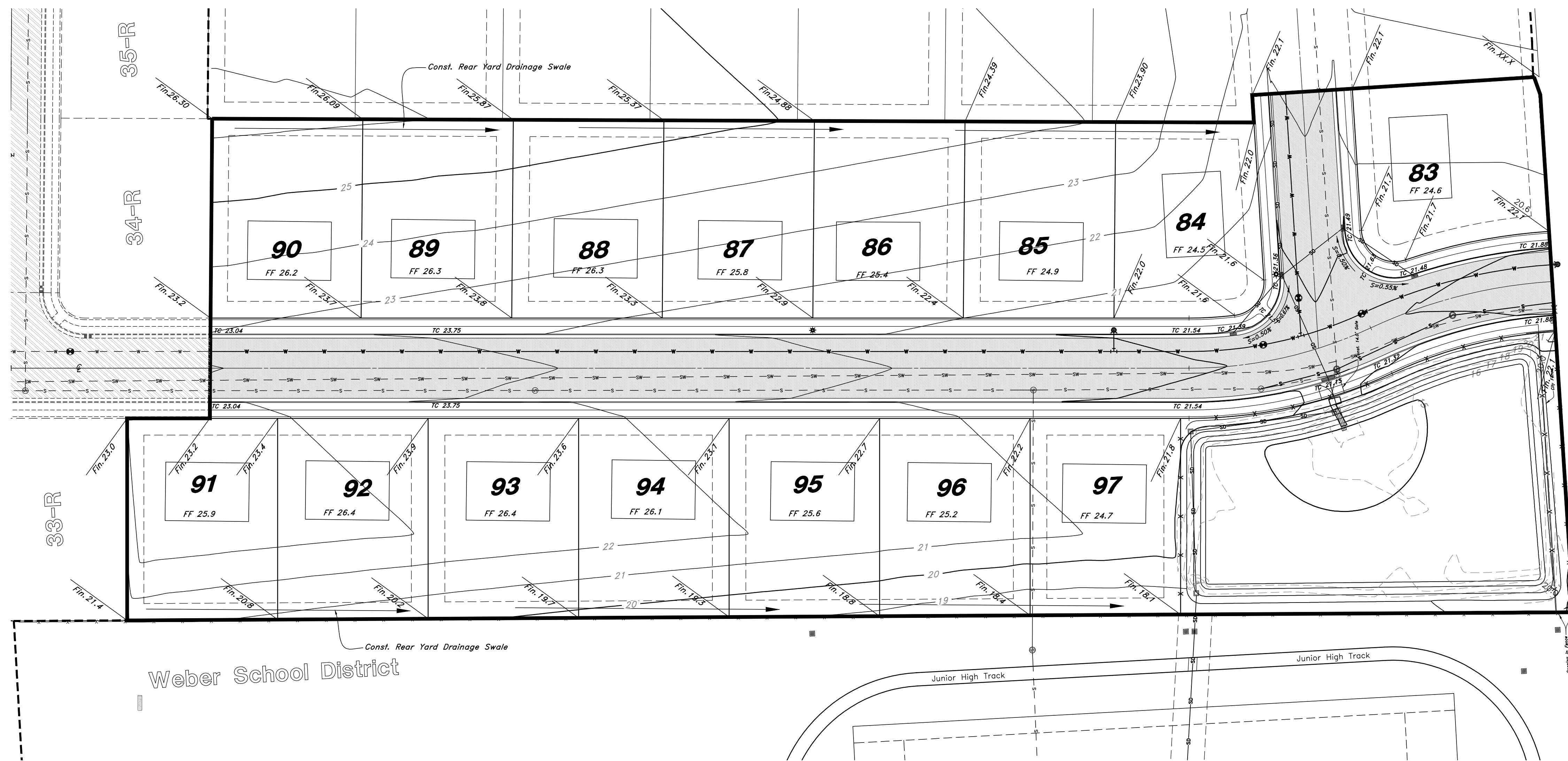
BENCHMARK:
Top of Harrisville City monument in the intersection of 2275 North and 300 West in the Southwest corner of Section 32, T7N, R1W, SLB&M, U.S. Survey.
Elevation 4222.41

NOTE:
The developer is required to provide all landscaping including parkstrip. Use 6" cobbles over 2 geotextile fabric weed barriers.

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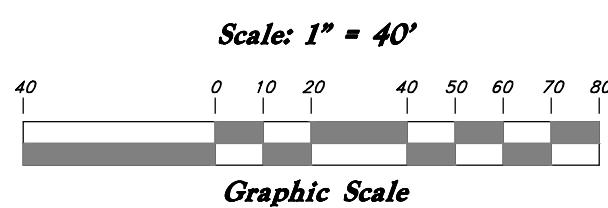
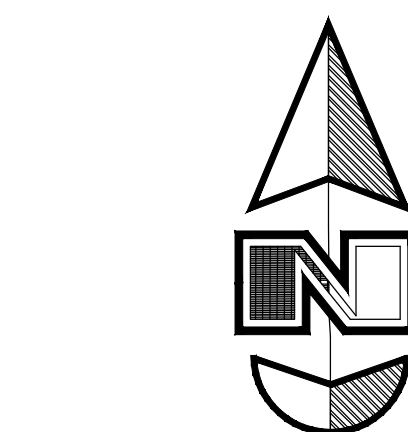


Detention Pond		Wildflower Estates Phase No. 6 A part of the Southwest 1/4 of Section 32, T7N, R1W, SLB&M, U.S. Survey Harrisville City, Weber County, Utah	
	GREAT BASIN ENGINEERING	DATE: 4 Oct, 2011	REVISIONS: 3 July, 2008
		DRAWN: AH & LT	9 Feb, 2012
		SCALE: 1"=20'	28 Apr, 2014
		DRWG. NO. 3 of 4	



FF = Lowest Main Finished Floor Elevation
 NOTE: BASEMENT FINISHED FLOOR IS 9.0' BELOW FF SHOWN ON GRADING PLANS

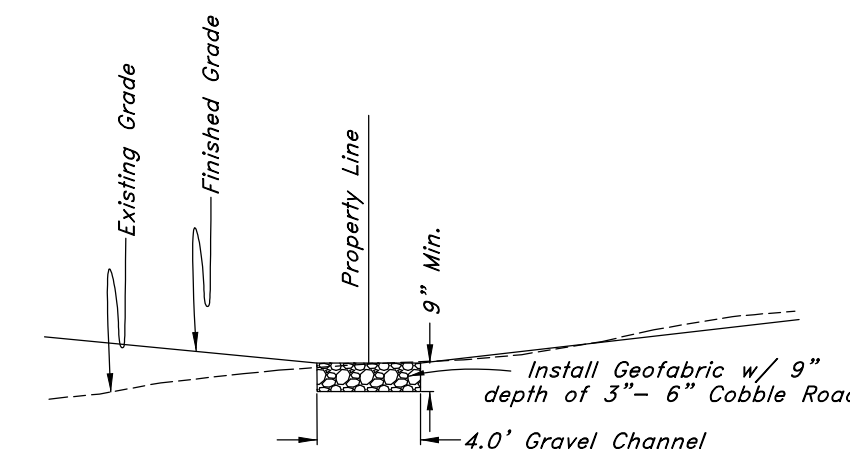
BENCHMARK:
 Top of Harrisville City monument in the intersection of 2275 North and 300 West in the Southwest corner of Section 32, T7N, R1W, SLB&M, U.S. Survey.
 Elevation 4222.41



Legend

(Note: All items may not appear on drawing)

- Son. Sewer Manhole
- Water Manhole
- Storm Drain Manhole
- Electrical Manhole
- Catch Basins
- Exist. Fire Hydrant
- Fire Hydrant
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- Finish Grade
- Exist. Grade
- Ridge Line
- Direction of Flow
- Existing Asphalt
- New Asphalt
- Heavy Duty Asphalt
- Concrete
- Open Face
- Curb & Gutter



TYPICAL LOT LINE DRAINAGE CHANNEL
 (Used between adjacent lots to ensure positive drainage away from the structures, and toward either the streets or backyard drainage easements)

NOTES:
 1. Developer shall be responsible to grade lots such that drain water does not flow from one lot to another. If water cannot be made to drain to fronting roadways, side and rear yard swales may be constructed, provided appropriate easements are dedicated and grades are such that water can drain to intercepting roadways or common areas.
 2. Builder to verify all property corners when building permit is issued. Builder will verify Foundation forms before foundation is poured to ensure Final Grades can be achieved.
 3. Final Landscaping must conform to the grades shown on this grading plan. The elevations and grading must not be modified without prior City Approval.
 4. The Building pad envelopes shown on this drawing are shown for pictorial purposes only. The lot owner/builder is required to submit a site plan, with Elevations, that meets building setback requirements, to Farmington City and obtain approval of the site plan before any work is done on the Lot.
 5. Construct swales as required to achieve flow in directions indicated by drainage arrows on the Grading Plan. Only one swale, if needed, is required between adjacent lots. (See "Typical Lot Line Drainage Channel" Detail on this sheet)

Grading and Drainage Plan		Wildflower Estates Phase No. 6 A part of the Southwest 1/4 of Section 32, T7N, R1W, SLB&M, U.S. Survey Harrisville City, Weber County, Utah	
	GREAT BASIN ENGINEERING NORTH CONSULTING ENGINEERS AND SURVEYORS 5746 South 1475 East - Suite 200 Ogden, Utah 84403 P.O. Box 150048, Ogden, Utah 84415 <small>Ogden (801)394-4515 Salt Lake City (801)521-0222 Fax (801)392-7544</small>		SCALE: 1" = 40'
	DRAWN: RB		DATE: 22 Feb, 2008
DRWG. NO. 04N315C		REVISIONS: 3 July, 2008	